

# COSTA VERDE AT COUNTRYSIDE CLEARWATER FLORIDA SITE PLAN

## SECTIONS 30 & 31, TOWNSHIP 28 S, RANGE 16 E

### LEGAL DESCRIPTION

A parcel of land being a portion of Sections 30 and 31, Township 28 South, Range 16 East, Pinellas County, Florida, being more particularly described as follows:

COMMENCE at the Northwest corner of the Southwest 1/4 of Section 30, Township 28 South, Range 16 East, Pinellas County, Florida; thence S00°19'10"E, along the West line of said Southwest 1/4 of Section 30 (being the basis of bearings for this legal description), for 444.48 feet; thence leaving said West line of the Southwest 1/4 of Section 30, S89°54'43"E, for 50.00 feet to the point of intersection with the East Right-of-Way line of Belcher Road, according to Official records Book 4563, page 1411 of the Public Records of Pinellas County, Florida, some being the POINT OF BEGINNING; thence leaving said East Right-of-Way line of Belcher Road, continue S89°54'43"E, along the South line of ST. MICHAEL'S SUBDIVISION, as recorded in Plat Book 90, page 40 of the Public Records of Pinellas County, Florida, for 1,558.66 feet to the point of intersection with the West line of DUNEDIN INDUSTRIAL PARK, as recorded in Plat Book 64, page 76 of the Public Records of Pinellas County, Florida; thence leaving said South line of ST. MICHAEL'S SUBDIVISION, S00°04'51"W, along said West line of DUNEDIN INDUSTRIAL PARK, for 937.21 feet to the Southwest corner of said DUNEDIN INDUSTRIAL PARK; thence S89°55'09"E, along the South line of said DUNEDIN INDUSTRIAL PARK, for 246.79 feet to the point of intersection with the Westerly Right-of-Way line of Enterprise Road, according to Official Records Book 4727, page 693 of the Public Records of Pinellas County, Florida, some being the point of intersection with a non-tangent curve, concave Easterly; thence the following eight (8) courses along said Westerly Right-of-Way line of Enterprise Road; (1) thence leaving said South line of DUNEDIN INDUSTRIAL PARK, Southerly along the arc of said curve, from a radial bearing of S81°07'02"W, having a radius of 895.00 feet, a central angle of 1°06'17", an arc length of 17.26 feet, and a chord bearing S09°26'07"E for 17.26 feet to the point of compound curvature of a curve concave Northeasterly; (2) thence Southeasterly along the arc of said curve, having a radius of 330.00 feet, a central angle of 45°19'51", an arc length of 261.09 feet, and a chord bearing S32°39'11"E for 254.33 feet to the point of tangent; (3) thence S55°19'06"E, for 345.77 feet to the point of curvature of a curve concave Southwesterly; (4) thence Southeasterly along the arc of said curve, having a radius of 170.00 feet, a central angle of 32°23'13", an arc length of 96.09 feet, and a chord bearing S39°07'32"E for 94.82 feet to the point of tangent; (5) thence S22°55'57"E, for 143.70 feet to the point of intersection with a non-tangent curve, concave Northeasterly; (6) thence Southeasterly along the arc of said curve, from a radial bearing of S67°04'09"W, having a radius of 405.00 feet, a central angle of 40°32'57", an arc length of 286.62 feet, and a chord bearing S43°12'19"E for 280.68 feet to the point of reverse curvature of a curve, concave Southwesterly; (7) thence Southeasterly along the arc of said curve, having a radius of 250.00 feet, a central angle of 23°25'46", an arc length of 102.23 feet, and a chord bearing S51°45'55"E for 101.92 feet to the point of compound curvature of a curve concave Westerly; (8) thence Southerly along the arc of said curve, having a radius of 30.00 feet, a central angle of 93°54'45", an arc length of 49.17 feet, and a chord bearing S06°54'14"W for 43.85 feet to the point of tangent, some also being the point of intersection with the Northwesterly Right-of-Way line of Countryside Boulevard, according to WOODGATE OF COUNTRYSIDE - UNIT ONE, as recorded in Plat 70, page 13 of the Public Records of Pinellas County, Florida; thence leaving said Westerly Right-of-Way line of Enterprise Road, S53°51'31"W, along said Northwesterly Right-of-Way line of Countryside Boulevard, for 592.43 feet to the point of curvature of a curve concave Southeasterly; thence continue along said Northwesterly Right-of-Way line of Countryside Boulevard, Southwesterly along the arc of said curve, having a radius of 1,960.00 feet, a central angle of 30°58'16", an arc length of 1,059.47 feet, and a chord bearing S38°22'23"W for 1,046.62 feet to the point of intersection with a non-tangent line, some being the point of intersection with an Easterly line of LAURELWOOD CONDOMINIUM I, as recorded in Condominium Plat Book 17, page 44 of the Public Records of Pinellas County, Florida; thence the following three (3) courses along said Easterly line of LAURELWOOD CONDOMINIUM I: (1) thence leaving said Northwesterly Right-of-Way line of Countryside Boulevard, N67°06'45"W, for 164.15 feet; (2) thence N10°30'13"W, for 674.30 feet; (3) thence N62°54'48"W, for 114.48 feet to the point of intersection with the Easterly Right-of-Way line of Laurelwood Drive, according to VILLAGE ON THE GREEN, as recorded in Plat Book 78, page 74 of the Public Records of Pinellas County, Florida, some being the point of intersection with a non-tangent curve, concave Westerly; thence leaving said Easterly line of LAURELWOOD CONDOMINIUM I, Northerly along said Easterly Right-of-Way line of Laurelwood Drive, along the arc of said curve, from a radial bearing of S62°55'27"E, having a radius of 490.00 feet, a central angle of 11°28'29", an arc length of 98.14 feet, and a chord bearing N21°20'18"E for 97.97 feet to the point of intersection with a non-tangent line, some being the point of intersection with a Southerly line of VILLAGE ON THE GREEN, some also being the point of intersection with a Southerly line of VILLAGE ON THE GREEN CONDOMINIUM III, A PHASE CONDOMINIUM, as recorded in Condominium Plat Book 37, page 114 of the Public Records of Pinellas County, Florida; thence the following seven (7) courses along the Southerly, Easterly and Northerly lines, respectively, of said Tract "D", VILLAGE ON THE GREEN, some also being the Southerly, Easterly and Northerly lines, respectively, of said VILLAGE ON THE GREEN CONDOMINIUM III, A PHASE CONDOMINIUM: (1) thence leaving said Easterly Right-of-Way line of Laurelwood Drive, S85°52'30"E, for 382.85 feet; (2) thence N53°19'16"E, for 254.39 feet; (3) thence N10°02'05"W, for 226.52 feet; (4) thence N56°14'29"E, for 111.50 feet; (5) thence N14°28'43"W, for 444.10 feet; (6) thence N58°15'30"W, for 446.88 feet; (7) thence S74°34'55"W, for 206.75 feet to a point of intersection with a non-tangent curve, concave Westerly, some being the point of intersection with said Easterly Right-of-Way line of Laurelwood Drive; thence leaving said Northerly line of Tract "D", VILLAGE ON THE GREEN, Northerly along said Easterly Right-of-Way line of Laurelwood Drive, along the arc of said curve, from a radial bearing of N74°34'56"E, having a radius of 590.00 feet, a central angle of 3°36'09", an arc length of 37.09 feet, and a chord bearing N17°13'09"W for 37.08 feet to the point of intersection with a non-tangent line, some being the point of intersection with a Southerly line of VILLAGE ON THE GREEN PATIO HOMES, as recorded in Plat Book 80, page 11 of the Public Records of Pinellas County, Florida; thence the following four (4) courses along the Southerly, Easterly and Northerly lines, respectively, of said VILLAGE ON THE GREEN PATIO HOMES: (1) thence leaving said Easterly Right-of-Way line of Laurelwood Drive, N62°12'37"E, for 288.58 feet; (2) thence N03°56'29"W, for 430.86 feet; (3) thence N44°02'28"W, for 445.33 feet; (4) thence S78°30'20"W, for 383.37 feet to the point of intersection with said East Right-of-Way line of Belcher Road; thence leaving said Northerly line of VILLAGE ON THE GREEN PATIO HOMES, N00°19'10"W, along said East Right-of-Way line of Belcher Road, some being a line 50.00 feet East of and parallel with said West line of the Southwest 1/4 of Section 30, for 394.13 feet to the POINT OF BEGINNING.

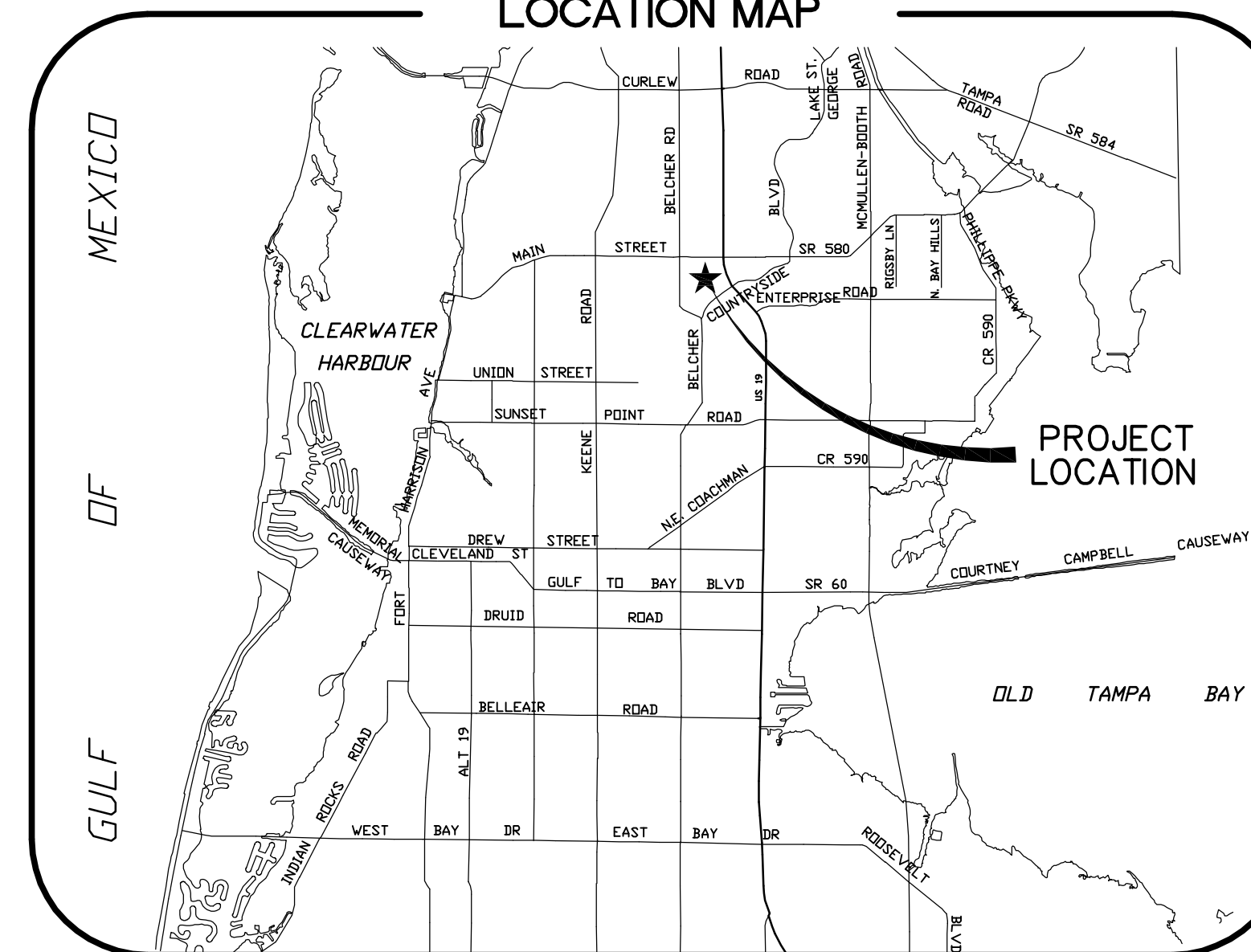
Containing 1,928,698 square feet or 44.277 acres, more or less.

### DRAWING INDEX

SHEET	SHEET DESCRIPTION
1	COVER SHEET
2-6	EXISTING CONDITIONS
7-11	SITE PLAN
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18-22	PAVING, GRADING AND DRAINAGE PLANS
23	ENTERPRISE ROAD AND COUNTRYSIDE BLVD. ROAD IMPROVEMENTS
24	WETLAND MITIGATION PLAN
25-29	UTILITY PLANS
30-33A	PROFILES
33B-33D	CITY WATERLINE PLAN AND PROFILE
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\*\* SHEETS NOT INCLUDED - FINAL PLAT RECORDED  
PB 132, PAGES 38-55

### LOCATION MAP



### LAND USE DATA

LAND USE PLAN CATEGORY	EXISTING	PROPOSED	CRITERIA (MIN./MAX)
	R / OS	RU	-
ZONING DISTRICT	OS / R	MDR	FLEXIBLE STANDARD (LEVEL 1)
USE	GOLF COURSE	TOWNHOMES	ATTACHED DWELLINGS
LOT AREA	1,928,698 SF 44.277 ACRES	1,928,698 SF 44.277 ACRES	10,000 SF
	WETLAND 176,887 SF 4.061 ACRES		
	UPLAND 176,887 SF 40.216 ACRES		
LOT WIDTH (1)	VARIES	VARIES	100 FT
LOT DEPTH	1325.56' (W) VARIES	1325.56' (W) VARIES	N/A
IMPERVIOUS SURFACE % (2)	2,500 AVG.	2,500 AVG.	0.65
UNITS	N/A	239 UNITS (6)	332 (MAX.)
DENSITY	N/A	5.40 UNITS / ACRE	7.5 UNITS / ACRE
DISTANCE TO			
	BUILDING PAVEMENT	BUILDING PAVEMENT	
NORTH	17' 18'	23' 12'	10'
SOUTH	63' 8'	30' 79'	10'
EAST	61' 8'	35' 25'	25'
WEST	350' 0'	20' 16' (27' AT BELCHER RD.)	10' (25' AT BELCHER RD)
HEIGHT	SINGLE-STORY (4)	(5)	30-40 FT
PAVED VEHICULAR AREAS	138,800 SF 3.186 ACRES (7.2%)	325,995 SF (3) 7,484 ACRES (3) (16.90%)	N/A
PARKING LOT INTERIOR LANDSCAPING % OF PAVED VEHICULAR USE AREA	-	863 SF (10.1%)	10%
PARKING	-	GARAGE = 425 ADDITIONAL RESIDENTIAL = 425 TOTAL RESIDENTIAL = 850 (3.55/UNIT)	1.5 / UNIT

### NOTES

- LOT WIDTH DETERMINED BY LOT BOUNDARY ABUTTING COUNTRYSIDE BLVD.
- IMPERVIOUS SURFACE CALCULATIONS IN EXISTING CONDITIONS CALCULATED FROM AERIAL PHOTOGRAPHY. IMPERVIOUS SURFACE CALCULATIONS IN PROPOSED CONDITIONS CALCULATED FROM SITE PLAN.
- PAVED VEHICULAR AREAS INCLUDE EXTERIOR DRIVEWAYS AT EACH UNIT.
- MAINTENANCE BUILDING AND RESTAURANT
- VENETIAN BAY PRODUCT = 23'-3" (SOUTHERN HALF OF SITE)  
BLOOMINGDALE PRODUCT = 24'-6 5/8" (NORTHERN HALF OF SITE)  
CLUBHOUSE = 29'-3"
- ESTIMATED POPULATION = 239 x 2.5 = 598 PEOPLE  
NOTE: APPROVED SITE PLAN AND DEVELOPERS AGREEMENT ALLOWS FOR 240 UNITS

### GENERAL NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MORE STRINGENT TECHNICAL SPECIFICATIONS AS FOUND IN THE STANDARD SPECIFICATIONS OF THE CITY OF CLEARWATER OR THE CONTRACT DOCUMENTS AS PREPARED BY FLORIDA DESIGN CONSULTANTS, INC. SPECIFICALLY FOR THIS PROJECT.
- THE JURISDICTIONAL AGENCY FOR THIS PROJECT IS THE CITY OF CLEARWATER.
- THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE AS SHOWN ON THE PLANS AND IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF THE UTILITIES PRIOR TO CONSTRUCTION IN THEIR VICINITY.
- THE CONTRACTOR SHALL USE APPROPRIATE MEASURES TO PREVENT EROSION AND TRANSPORT OF SEDIMENT MATERIAL TO INLETS, SURFACE DRAINS, LAKES AND WETLAND AREAS. THE CONTRACTOR SHALL USE STRAW BALES, SILT BARRIERS OR OTHER APPROPRIATE MEASURES TO MITIGATE ADVERSE IMPACTS TO EXISTING SURFACE WATER QUALITY.
- THE CONTRACTOR IS TO CONTROL ALL FUGITIVE DUST ORIGINATING ON THE PROJECT BY WATERING OR OTHER METHODS AS REQUIRED.
- NO DEBRIS SHALL BE ALLOWED TO ENTER THE EXISTING SANITARY AND STORM SYSTEMS.
- BACKFLOW PREVENTION DEVICES MUST BE INSTALLED BY THE CITY.
- SOLID WASTE COLLECTION BY THE CITY OF CLEARWATER. INDIVIDUAL UNIT SOLID WASTE PICK-UP WILL BE REQUIRED AND THE BLACK BARRELS WILL BE STORED IN THE GARAGE. A DUMPSTER WILL BE PROVIDED AT THE CLUBHOUSE.
- SITE LANDSCAPING WILL BE IN ACCORDANCE WITH SECTION 3-1202 OF THE CITY OF CLEARWATER COMMUNITY DEVELOPMENT CODE.
- THE SITE IS LOCATED WITHIN FLOOD ZONE "X" (OUTSIDE THE 100 YR. FLOOD), DATED SEPT. 3, 2003 PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 12103C0088G.
- SITE LIGHTING SHALL BE PROVIDED IN COMPLIANCE WITH CITY OF CLEARWATER CODE REQUIREMENTS.
- TREE REMOVAL PERMIT APPLICATION TO BE SUBMITTED AT TIME OF CONSTRUCTION PLAN SUBMITTAL.
- ALL UTILITIES FOR THIS DEVELOPMENT ARE TO BE BURIED
- ALL TRAFFIC SIGNS AND MARKINGS MUST CONFORM WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE INSTALLED, THEY SHALL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION AS PER NFPA-241. A HARD ROAD SURFACE ABLE TO SUPPORT THE WEIGHT OF FIRE APPARATUS PRIOR TO ANY BUILDING CONSTRUCTION BEING STARTED.

PREPARED FOR:

**BEAZER HOMES TAMPA DIVISION**  
2630 SOUTH FAULKENBURG ROAD, SUITE A  
RIVERVIEW, FLORIDA 33569  
PHONE: 813-663-9002 FAX: 813-663-9493

PREPARED BY:

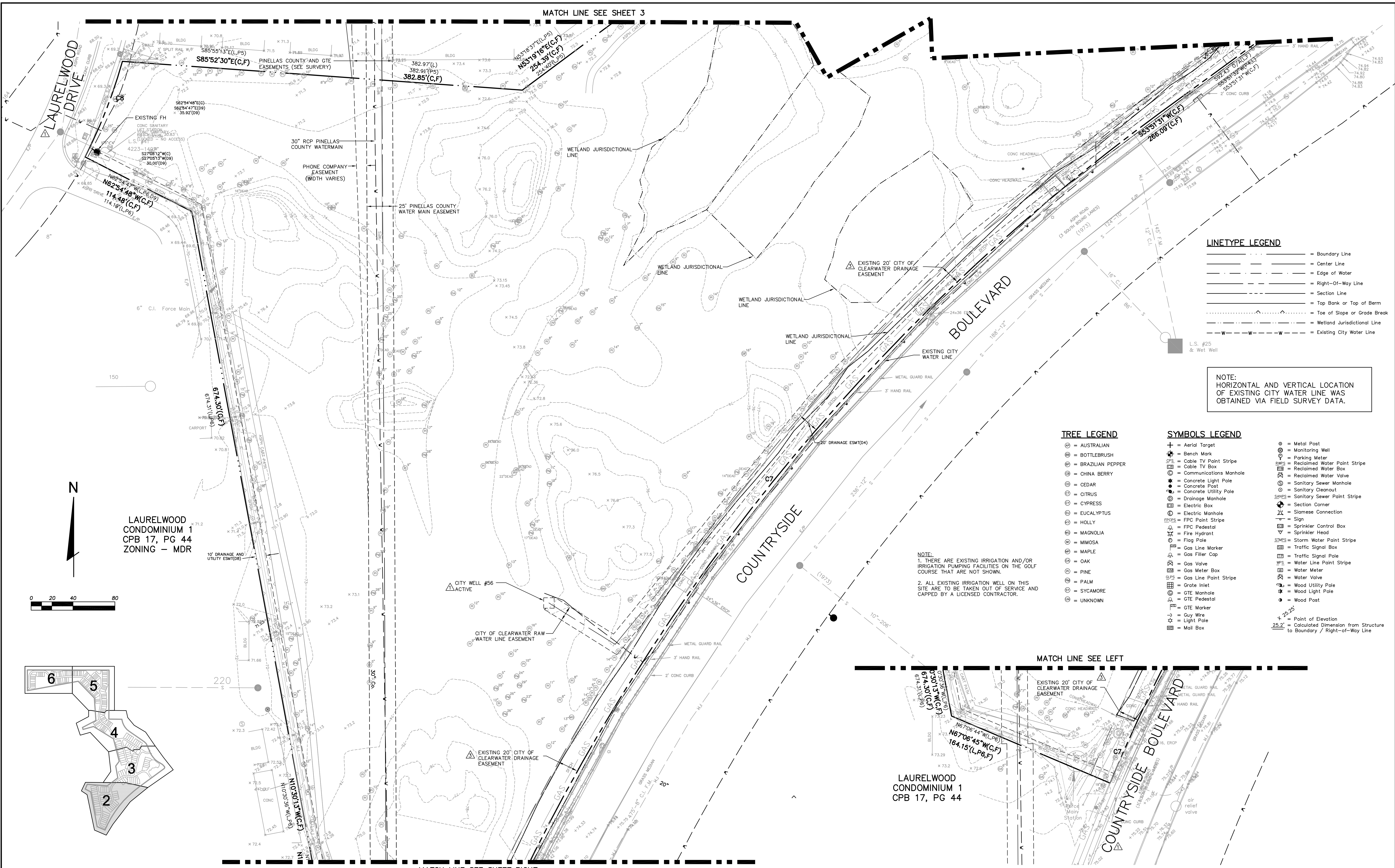
**FLORIDA DESIGN CONSULTANTS, INC.**  
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3030 Starkey Blvd, New Port Richey FL 34655  
Tel: (727) 849-7588 - Fax: (727) 848-3648

E.B. No. 7421

THESE PLANS HAVE BEEN PREPARED USING ELEVATIONS BASED ON THE NAVD  
88 DATUM (TO CONVERT TO NGVD 29 DATUM, ADD 0.86 FT.)

REV: 08/25/06  
REV: 08/17/06  
REV: 05/24/06  
REV: 04/21/06  
REV: 03/03/06  
REV: 10/24/05  
REV: 8/24/05  
REV: 8/16/05  
DATE: 8/12/05  
JOB NO. 282-02  
EPN #169

MATCH LINE SEE SHEET 3



**LINETYPE LEGEND**

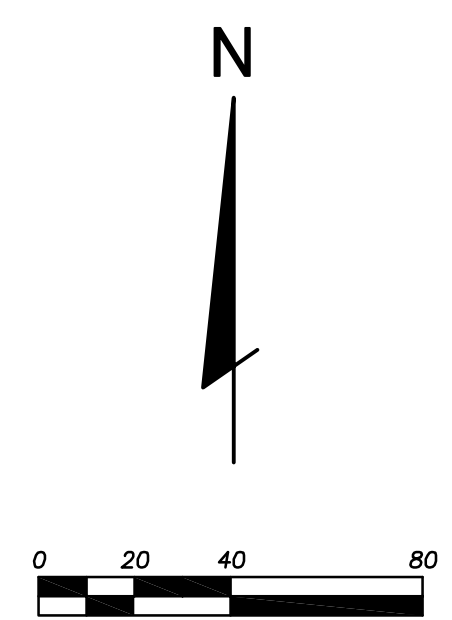
---	Boundary Line
---	Center Line
---	Edge of Water
---	Right-Of-Way Line
---	Section Line
---	Top Bank or Top of Berm
---	Toe of Slope or Grade Break
---	Wetland Jurisdictional Line
---	Existing City Water Line

**NOTE:**  
HORIZONTAL AND VERTICAL LOCATION OF EXISTING CITY WATER LINE WAS OBTAINED VIA FIELD SURVEY DATA.

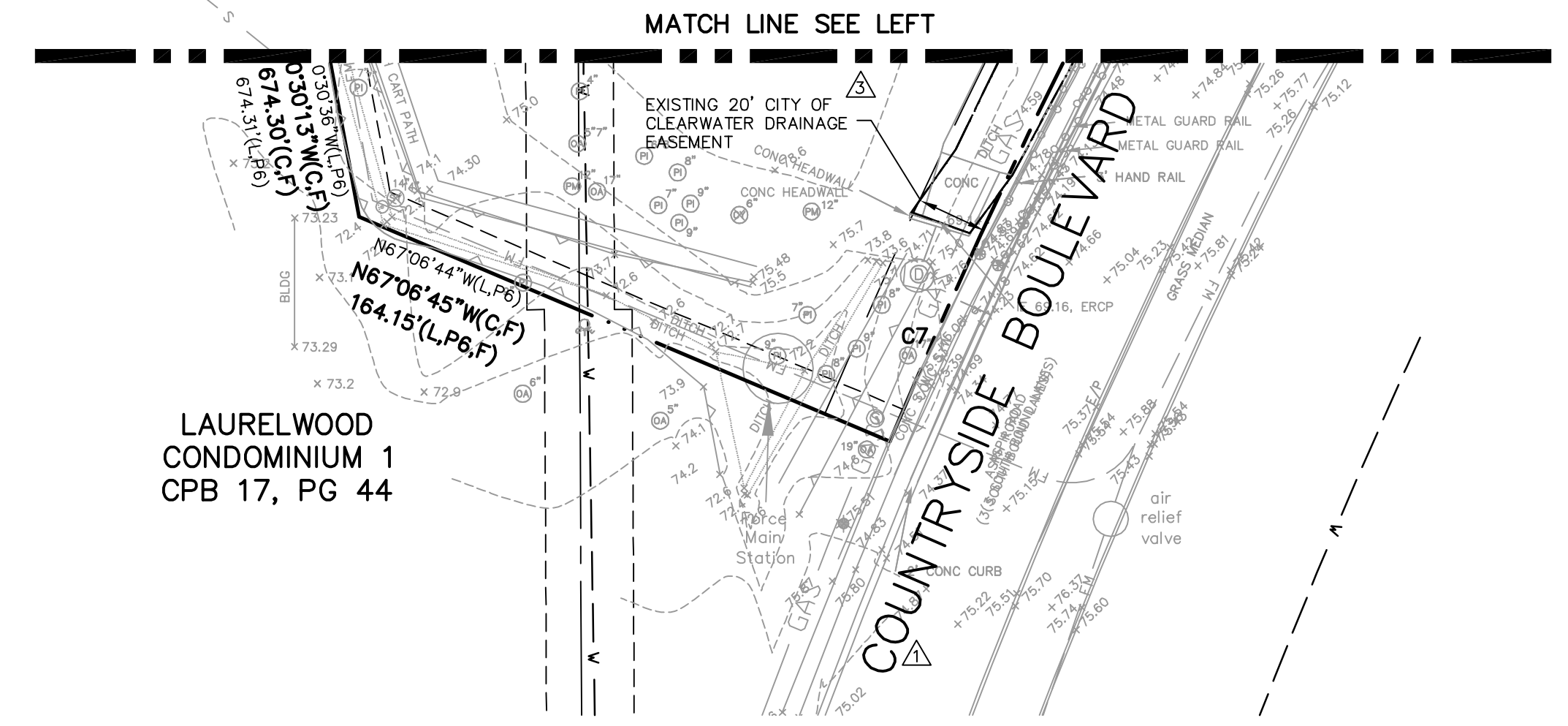
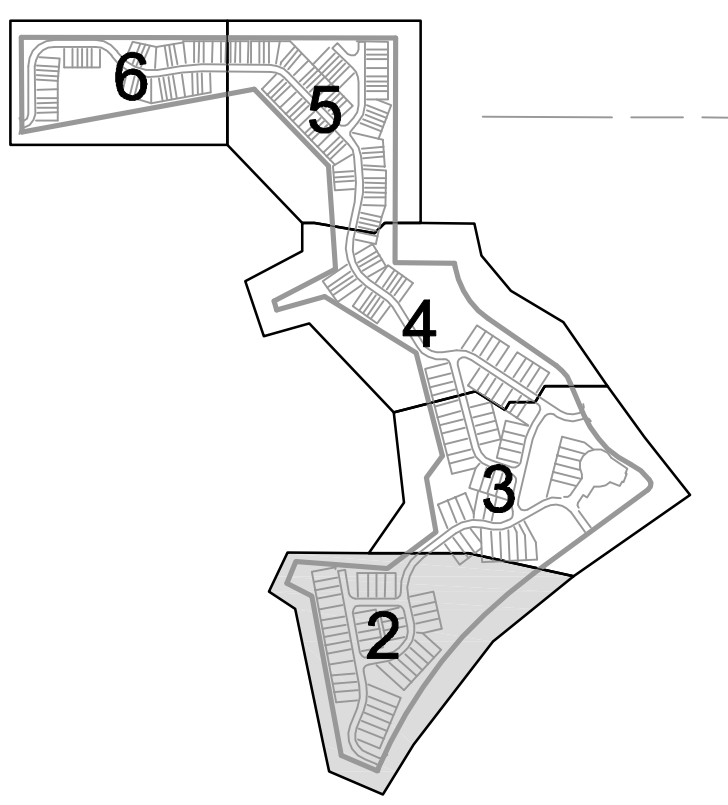
- TREE LEGEND**
- ⊕ = AUSTRALIAN
  - ⊕ = BOTTLEBRUSH
  - ⊕ = BRAZILIAN PEPPER
  - ⊕ = CHINA BERRY
  - ⊕ = CEDAR
  - ⊕ = CITRUS
  - ⊕ = CYPRESS
  - ⊕ = EUCALYPTUS
  - ⊕ = HOLLY
  - ⊕ = MAGNOLIA
  - ⊕ = MIMOSA
  - ⊕ = MAPLE
  - ⊕ = OAK
  - ⊕ = PINE
  - ⊕ = PALM
  - ⊕ = SYCAMORE
  - ⊕ = UNKNOWN

- SYMBOLS LEGEND**
- ⊕ = Aerial Target
  - ⊕ = Bench Mark
  - ⊕ = Cable TV Point Stripe
  - ⊕ = Cable TV Box
  - ⊕ = Communications Manhole
  - ⊕ = Concrete Light Pole
  - ⊕ = Concrete Post
  - ⊕ = Concrete Utility Pole
  - ⊕ = Drainage Manhole
  - ⊕ = Electric Box
  - ⊕ = Electric Manhole
  - ⊕ = FPC Point Stripe
  - ⊕ = Fire Hydrant
  - ⊕ = Flag Pole
  - ⊕ = Gas Filler Cap
  - ⊕ = Gas Valve
  - ⊕ = Gas Meter Box
  - ⊕ = Gas Line Point Stripe
  - ⊕ = Grate Inlet
  - ⊕ = GTE Manhole
  - ⊕ = GTE Pedestal
  - ⊕ = Guy Wire
  - ⊕ = Light Pole
  - ⊕ = Mail Box
  - ⊕ = Metal Post
  - ⊕ = Monitoring Well
  - ⊕ = Parking Meter
  - ⊕ = Reclaimed Water Point Stripe
  - ⊕ = Reclaimed Water Box
  - ⊕ = Reclaimed Water Valve
  - ⊕ = Sanitary Sewer Manhole
  - ⊕ = Sanitary Cleanout
  - ⊕ = Sanitary Sewer Point Stripe
  - ⊕ = Section Corner
  - ⊕ = Siamese Connection
  - ⊕ = Sign
  - ⊕ = Sprinkler Control Box
  - ⊕ = Sprinkler Head
  - ⊕ = Storm Water Point Stripe
  - ⊕ = Traffic Signal Pole
  - ⊕ = Water Line Point Stripe
  - ⊕ = Water Meter
  - ⊕ = Water Valve
  - ⊕ = Wood Utility Pole
  - ⊕ = Wood Light Pole
  - ⊕ = Wood Post
  - ⊕ = Point of Elevation
  - 25.2' = Calculated Dimension from Structure to Boundary / Right-of-Way Line

**NOTE:**  
1. THERE ARE EXISTING IRRIGATION AND/OR IRRIGATION PUMPING FACILITIES ON THE GOLF COURSE THAT ARE NOT SHOWN.  
2. ALL EXISTING IRRIGATION WELL ON THIS SITE ARE TO BE TAKEN OUT OF SERVICE AND CAPPED BY A LICENSED CONTRACTOR.



LAURELWOOD CONDOMINIUM 1  
CPB 17, PG 44  
ZONING - MDR



DESIGNED BY: O.C./J.B.  
DRAWN BY: J.S.  
CHECKED BY: E.M.  
DATE: 10-22-04

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E.B. No. 7421

PREPARED FOR:  
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2630 SOUTH FAULKENBURG ROAD, SUITE A  
RIVERVIEW, FLORIDA 33569  
PHONE: 813-663-9002 FAX: 813-663-9493

SHEET DESCRIPTION:  
**COSTA VERDE AT COUNTRYSIDE  
EXISTING CONDITIONS**

NO.	DATE	REVISIONS	APPROVED BY	JOB NO. 282-02	2
4	17/8/06	WELL WATER LINE & FORCEMAIN LOCATION MODIFIED		EPN 169	
3	10/4/05	20' DRAINAGE EASEMENT NOTE ADDED		F.B. & P.C.	
2	9/16/05	REVISED PER CITY COMMENTS			
1	8/5/05	STREET NAMES AND WELL STATUS ADDED.			
				DATE: 10-22-04	35

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**LINETYPE LEGEND**

- = Boundary Line
- = Center Line
- = Edge of Water
- = Right-of-Way Line
- = Section Line
- = Top Bank or Top of Berm
- = Toe of Slope or Grade Break
- = Wetland Jurisdictional Line
- = Existing City Water Line

**NOTE:**  
HORIZONTAL AND VERTICAL LOCATION OF EXISTING CITY WATER LINE WAS OBTAINED VIA FIELD SURVEY DATA.

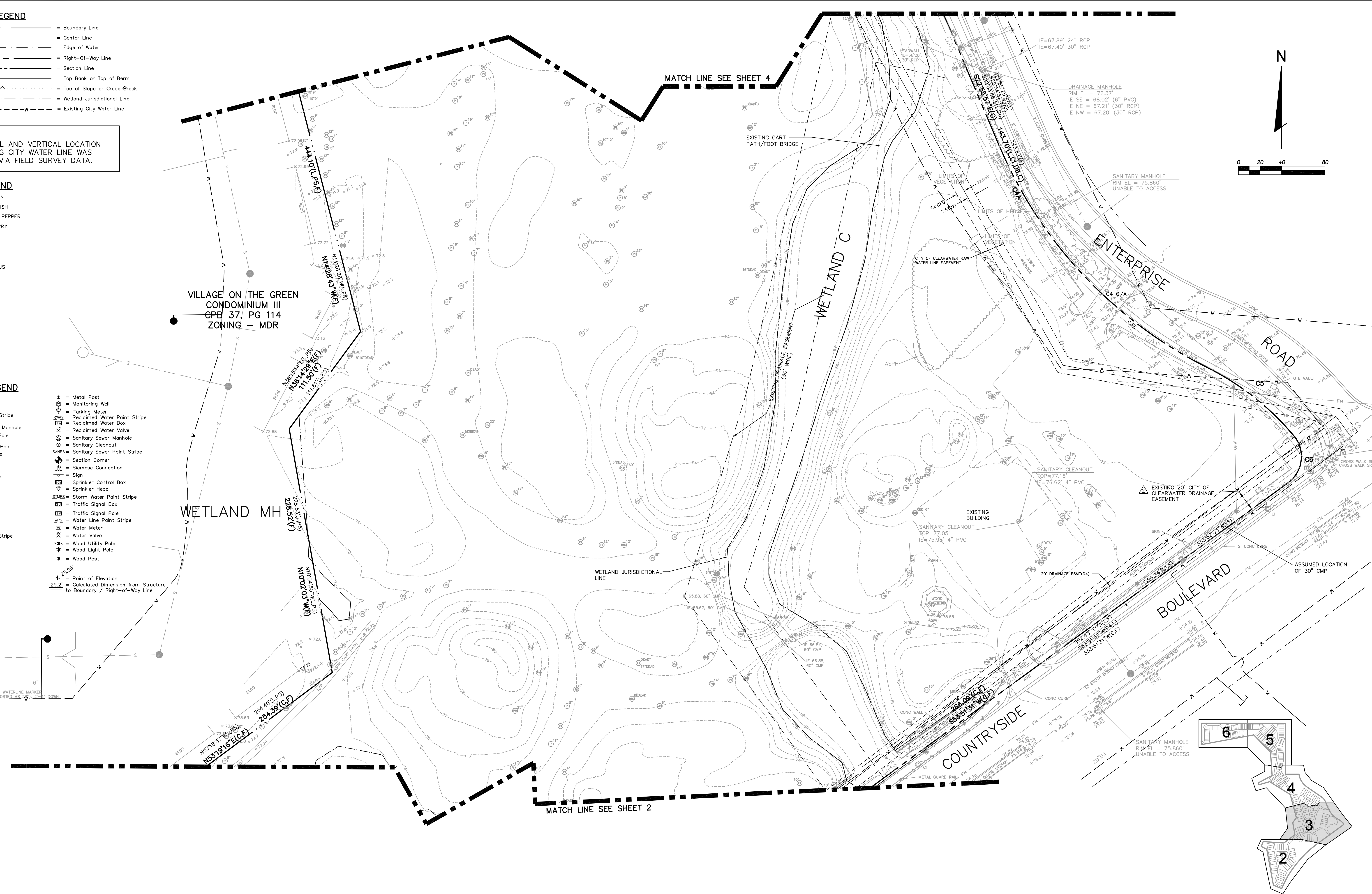
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**SYMBOLS LEGEND**

- + = Aerial Target
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- ⊕ = Calculated Dimension from Structure to Boundary / Right-of-Way Line

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DESIGNED O.C./J.B.	THE SIGNATURE OF THE QUALITY CONTROL OFFICER IN THIS SPACE INDICATES THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED AND THAT CONSTRUCTION IS AUTHORIZED TO COMMENCE.
CHECKED J.S.	
DATE E.M.	

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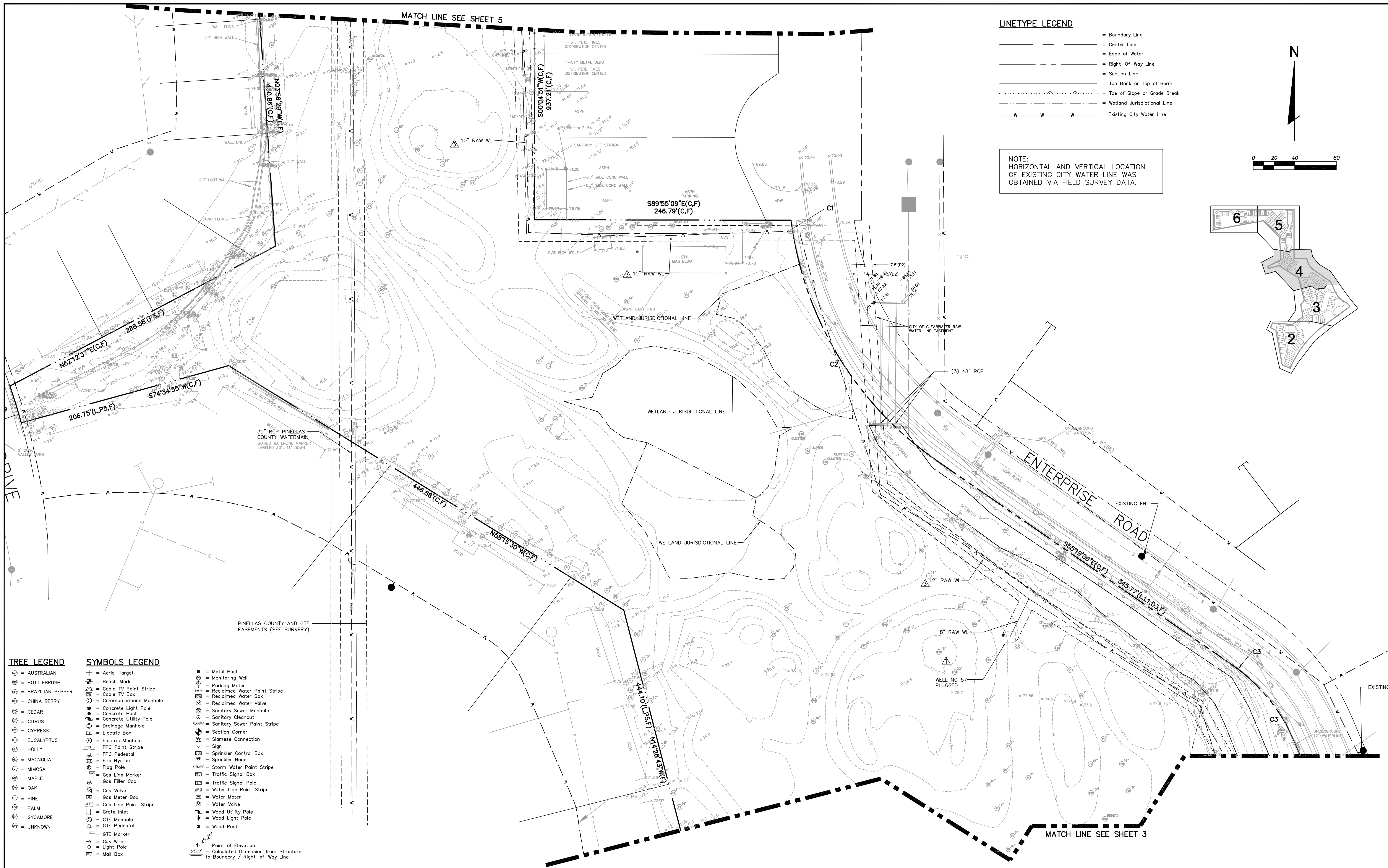
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PHONE: 813-663-9002 FAX: 813-663-9493

SHEET DESCRIPTION:

COSTA VERDE AT COUNTRYSIDE	
EXISTING CONDITIONS	

NO.	DATE	REVISIONS	APP'D BY	JOB NO. 282-02	3
3	17/8/06	WELL WATER LINE LOCATION MODIFIED		EPN 169	
2	10/4/05	20' DRAINAGE EASEMENT NOTE ADDED		F.B. & P.C.	
1	8/16/05	REVISED PER CITY COMMENTS		DATE 10-22-04	35

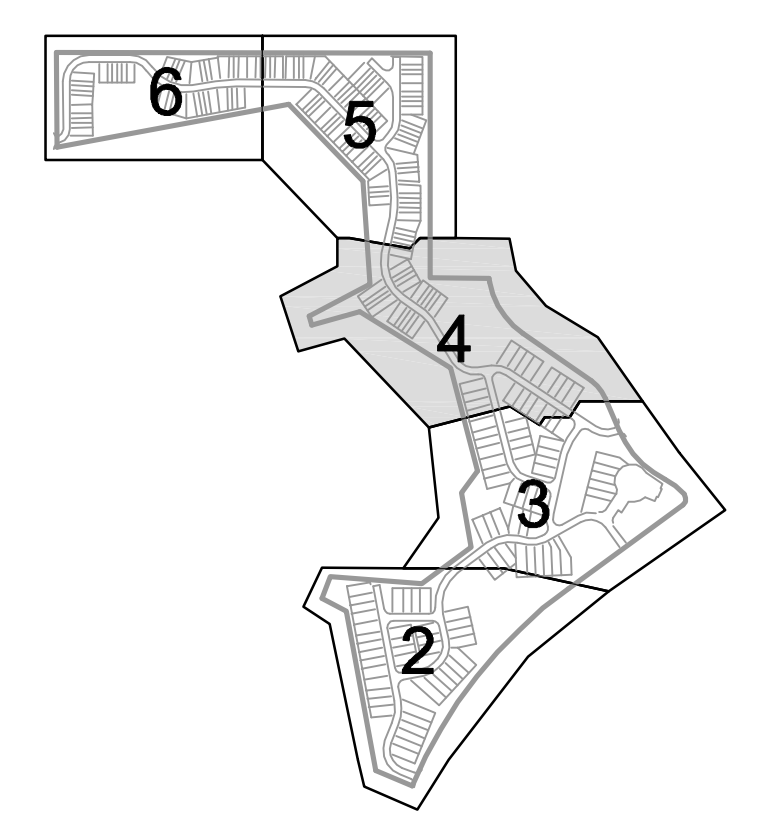
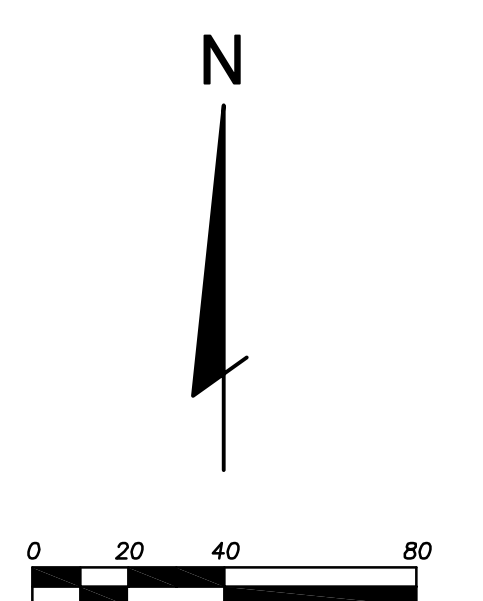
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**LINETYPE LEGEND**

—	= Boundary Line
—	= Center Line
- - -	= Edge of Water
- · - ·	= Right-of-Way Line
- - -	= Section Line
- - -	= Top Bank or Top of Berm
- · - ·	= Toe of Slope or Grade Break
- · - ·	= Wetland Jurisdictional Line
- - -	= Existing City Water Line

NOTE:  
HORIZONTAL AND VERTICAL LOCATION  
OF EXISTING CITY WATER LINE WAS  
OBTAINED VIA FIELD SURVEY DATA.

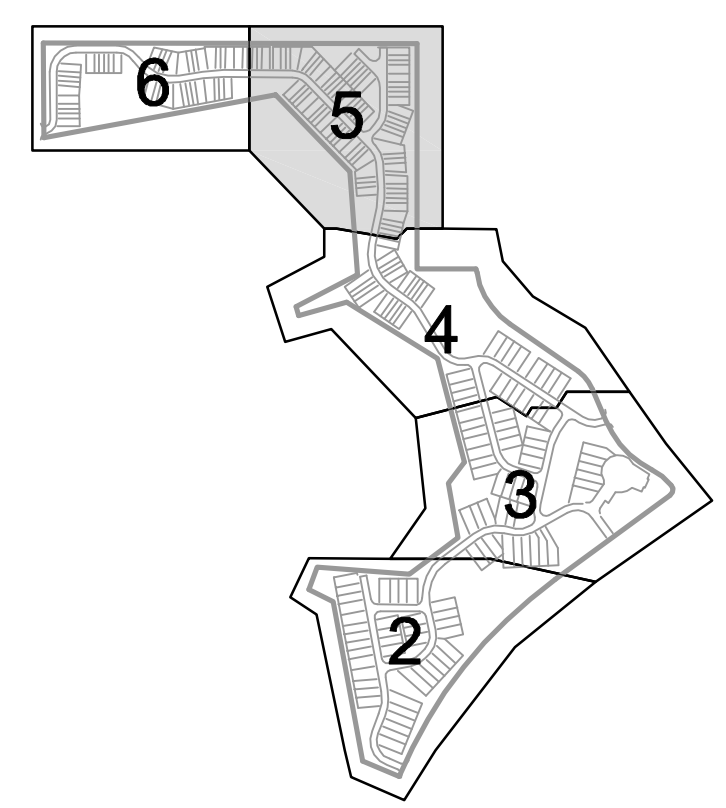
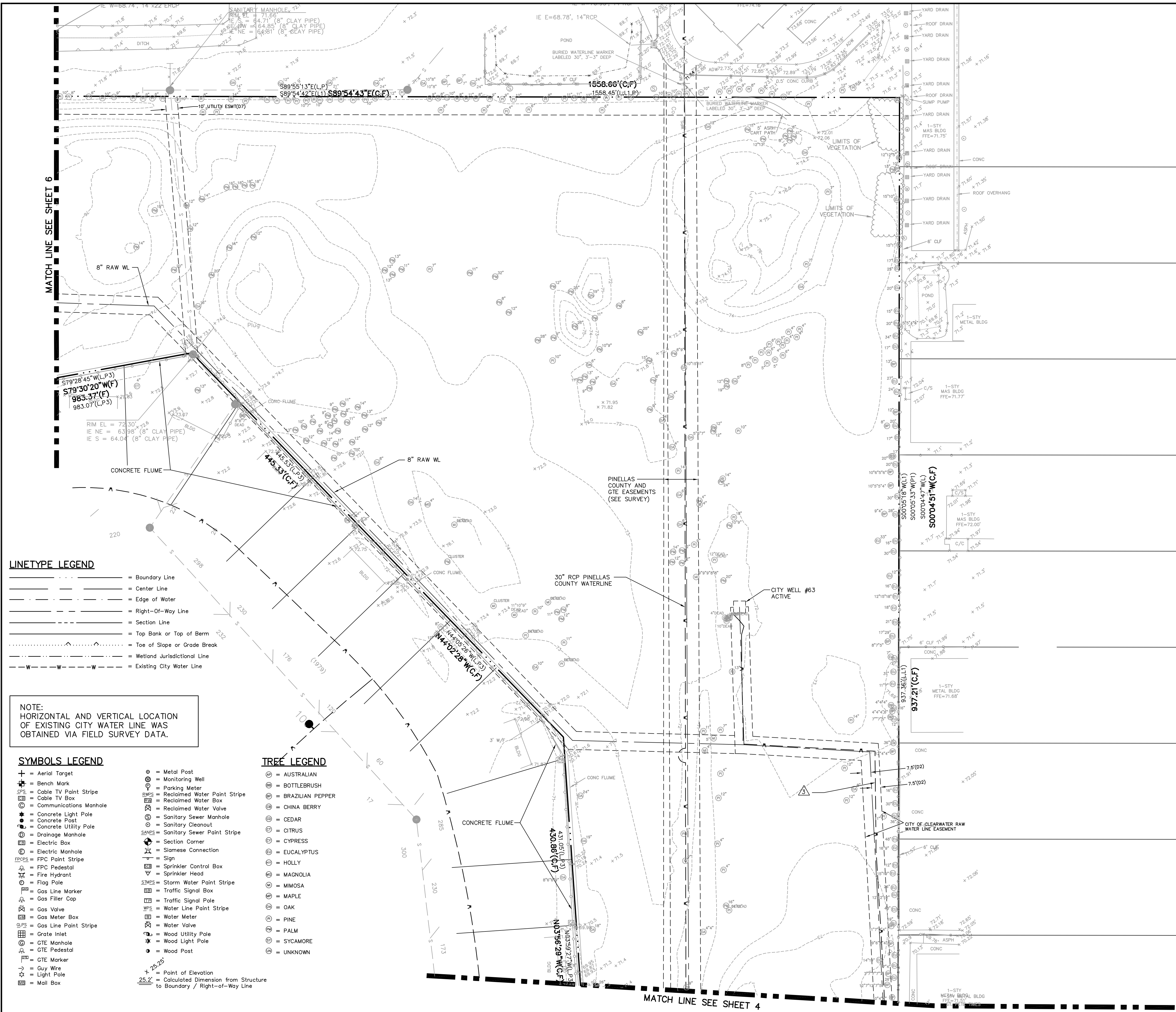


TREE LEGEND		SYMBOLS LEGEND	
⊙ = AUSTRALIAN	⊕ = Aerial Target	⊙ = Metal Post	⊙ = Monitoring Well
⊙ = BOTTLEBRUSH	⊕ = Bench Mark	⊙ = Reclaimed Water Paint Stripe	⊙ = Reclaimed Water Box
⊙ = BRAZILIAN PEPPER	⊕ = Cable TV Paint Stripe	⊙ = Reclaimed Water Valve	⊙ = Sanitary Sewer Manhole
⊙ = CHINA BERRY	⊕ = Cable TV Box	⊙ = Sanitary Cleanout	⊙ = Sanitary Sewer Point Stripe
⊙ = CEDAR	⊕ = Communications Manhole	⊙ = Section Corner	⊙ = Siamese Connection
⊙ = CITRUS	⊕ = Concrete Light Pole	⊙ = Sign	⊙ = Sprinkler Control Box
⊙ = CYPRESS	⊕ = Concrete Post	⊙ = Sprinkler Head	⊙ = Storm Water Point Stripe
⊙ = EUCALYPTUS	⊕ = Concrete Utility Pole	⊙ = Traffic Signal Box	⊙ = Traffic Signal Pole
⊙ = HOLLY	⊕ = Drainage Manhole	⊙ = Water Line Paint Stripe	⊙ = Water Meter
⊙ = MAGNOLIA	⊕ = Electric Box	⊙ = Water Meter Box	⊙ = Water Valve
⊙ = MIMOSA	⊕ = Electric Manhole	⊙ = Wood Utility Pole	⊙ = Wood Light Pole
⊙ = MAPLE	⊕ = FFC Paint Stripe	⊙ = Wood Post	
⊙ = OAK	⊕ = FPO Pedestal		
⊙ = PINE	⊕ = Fire Hydrant		
⊙ = PALM	⊕ = Flag Pole		
⊙ = SYCAMORE	⊕ = Gas Line Marker		
⊙ = UNKNOWN	⊕ = Gas Filler Cap		
	⊕ = Gas Valve		
	⊕ = Gas Meter Box		
	⊕ = Gas Line Paint Stripe		
	⊕ = Gate Inlet		
	⊕ = GTE Manhole		
	⊕ = GTE Pedestal		
	⊕ = GTE Marker		
	⊕ = Guy Wire		
	⊕ = Light Pole		
	⊕ = Mail Box		
	⊕ = Point of Elevation		
	⊕ = Calculated Dimension from Structure to Boundary / Right-of-Way Line		

DESIGNED O.C./J.B.	THE SIGNATURE OF THE QUALITY CONTROL OFFICER IN THIS SPACE INDICATES THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED AND THAT CONSTRUCTION IS AUTHORIZED TO COMMENCE.	PREPARED FOR: <b>BEAZER HOMES TAMPA DIVISION</b> 2630 SOUTH FAULKENBURG ROAD, SUITE A RIVERVIEW, FLORIDA 33569 PHONE: 813-663-9002 FAX: 813-663-9493	SHEET DESCRIPTION: <b>COSTA VERDE AT COUNTRYSIDE</b> EXISTING CONDITIONS	JOB NO. <b>282-02</b>	SHT <b>4</b>
DRAWN J.S.			DATE 17/8/06	REVISED PER CITY COMMENTS	
CHECKED E.M.			DATE 8/5/05	WELL STATUS ADDED	
DATE 10-22-04	APPROVED BY				<b>35</b>

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**LINETYPE LEGEND**

- = Boundary Line
- = Center Line
- = Edge of Water
- = Right-Of-Way Line
- = Section Line
- = Top Bank or Top of Berm
- = Toe of Slope or Grade Break
- = Wetland Jurisdictional Line
- = Existing City Water Line

NOTE:  
HORIZONTAL AND VERTICAL LOCATION  
OF EXISTING CITY WATER LINE WAS  
OBTAINED VIA FIELD SURVEY DATA.

**SYMBOLS LEGEND**

- = Aerial Target
- = Bench Mark
- = Cable TV Point Stripe
- = Cable TV Box
- = Communications Manhole
- = Concrete Light Pole
- = Concrete Post
- = Concrete Utility Pole
- = Drainage Manhole
- = Electric Box
- = Electric Manhole
- = FPC Point Stripe
- = FPC Pedestal
- = Fire Hydrant
- = Flag Pole
- = Gas Line Marker
- = Gas Filler Cap
- = Gas Valve
- = Gas Meter Box
- = Gas Line Point Stripe
- = Grate Inlet
- = GTE Manhole
- = GTE Pedestal
- = GTE Marker
- = Guy Wire
- = Light Pole
- = Mail Box
- = Metal Post
- = Monitoring Well
- = Parking Meter
- = Reclaimed Water Point Stripe
- = Reclaimed Water Box
- = Reclaimed Water Valve
- = Sanitary Sewer Manhole
- = Sanitary Cleanout
- = Sanitary Sewer Point Stripe
- = Section Corner
- = Slamless Connection
- = Sign
- = Sprinkler Control Box
- = Sprinkler Head
- = Storm Water Point Stripe
- = Traffic Signal Box
- = Traffic Signal Pole
- = Water Line Point Stripe
- = Water Meter
- = Water Valve
- = Wood Utility Pole
- = Wood Light Pole
- = Wood Post
- = Point of Elevation
- = Calculated Dimension from Structure to Boundary / Right-of-Way Line

**TREE LEGEND**

- = AUSTRALIAN
- = BOTTLEBRUSH
- = BRAZILIAN PEPPER
- = CHINA BERRY
- = CEDAR
- = CITRUS
- = CYPRESS
- = EUCALYPTUS
- = HOLLY
- = MAGNOLIA
- = MIMOSA
- = MAPLE
- = OAK
- = PINE
- = PALM
- = SYCAMORE
- = UNKNOWN

DESIGNED O.C./J.B.	THE SIGNATURE OF THE QUALITY CONTROL OFFICER IN THIS SPACE INDICATES THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED AND THAT CONSTRUCTION IS AUTHORIZED TO COMMENCE.
DRAWN J.S.	
CHECKED E.M.	
A.C.	

**FLORIDA DESIGN CONSULTANTS, INC.**  
ENGINEERS, DESIGNALISTS, SURVEYORS & PLANNERS  
3030 Starkey Blvd., New Port Richey FL 34655  
Tel. (727) 949-7566 - Fax. (727) 949-3648  
E.B. No. 7421

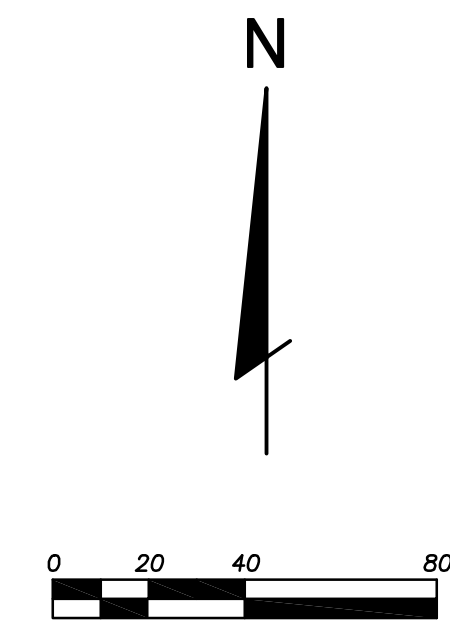
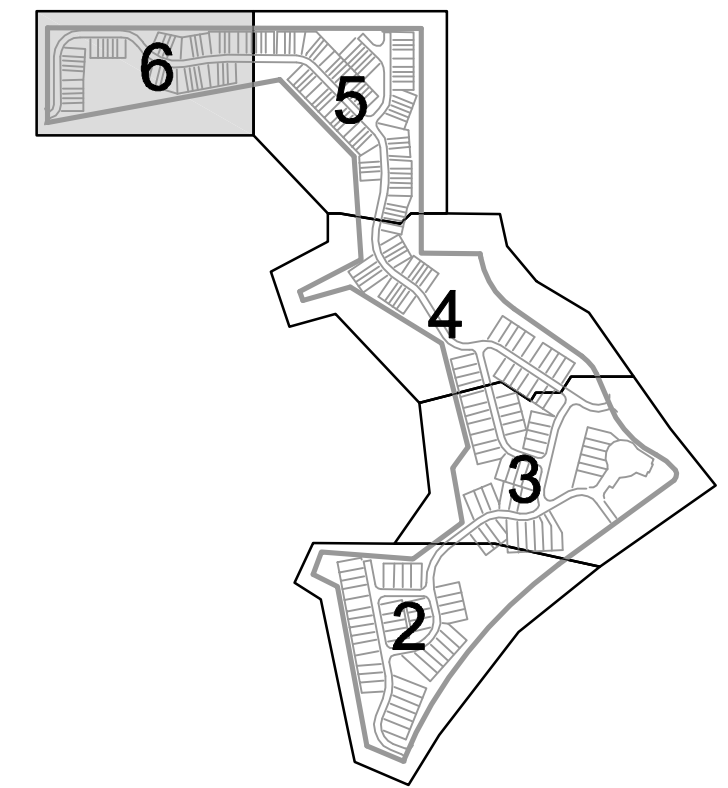
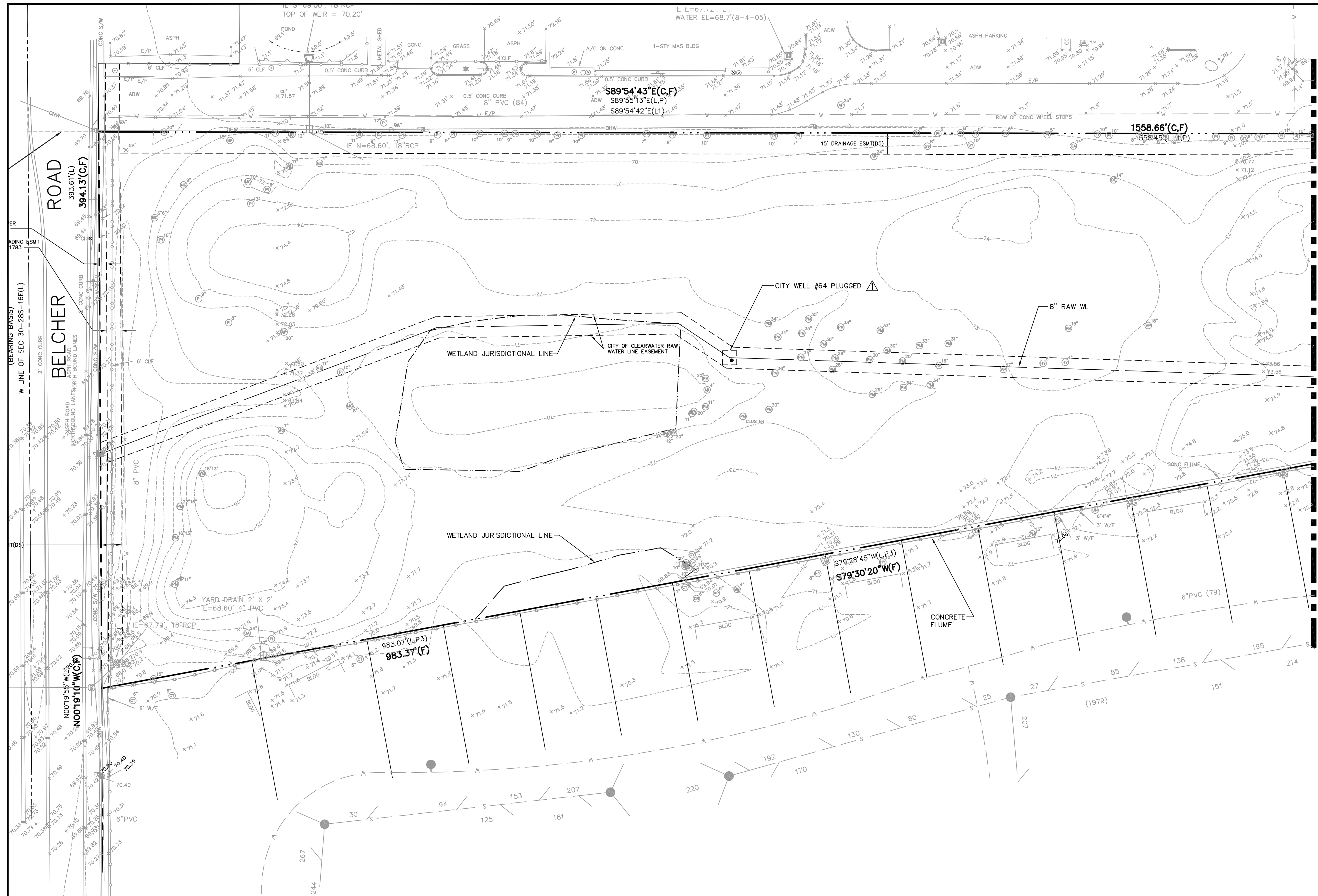
PREPARED FOR:	BEAZER HOMES TAMPA DIVISION 2630 SOUTH FAULKENBURG ROAD, SUITE A RIVERVIEW, FLORIDA 33569 PHONE: 813-663-9002 FAX: 813-663-9493
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SHEET DESCRIPTION:	COSTA VERDE AT COUNTRYSIDE EXISTING CONDITIONS
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JOB NO.	282-02	SHT.	5
EPN	169		
F.B. & P.C.			
DATE	10-22-04	APP'D BY	35

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**LINETYPE LEGEND**

- = Boundary Line
- = Center Line
- = Edge of Water
- = Right-Of-Way Line
- = Section Line
- = Top Bank or Top of Berm
- = Toe of Slope or Grade Break
- = Wetland Jurisdictional Line
- W-W-W- = Existing City Water Line

NOTE:  
HORIZONTAL AND VERTICAL LOCATION  
OF EXISTING CITY WATER LINE WAS  
OBTAINED VIA FIELD SURVEY DATA.

**TREE LEGEND**

- ⊕ = AUSTRALIAN
- ⊕ = BOTTLEBRUSH
- ⊕ = BRAZILIAN PEPPER
- ⊕ = CHINA BERRY
- ⊕ = CEDAR
- ⊕ = CITRUS
- ⊕ = CYPRESS
- ⊕ = EUCALYPTUS
- ⊕ = HOLLY
- ⊕ = MAGNOLIA
- ⊕ = MIMOSA
- ⊕ = MAPLE
- ⊕ = OAK
- ⊕ = PINE
- ⊕ = PALM
- ⊕ = SYCAMORE
- ⊕ = UNKNOWN

**SYMBOLS LEGEND**

- + = Aerial Target
- ⊕ = Bench Mark
- ⊕ = Cable TV Paint Stripe
- ⊕ = Cable TV Box
- ⊕ = Communications Manhole
- ⊕ = Concrete Light Pole
- ⊕ = Concrete Post
- ⊕ = Concrete Utility Pole
- ⊕ = Drainage Manhole
- ⊕ = Electric Box
- ⊕ = Electric Manhole
- ⊕ = FPC Pedestal
- ⊕ = Fire Hydrant
- ⊕ = Flag Pole
- ⊕ = Gas Line Marker
- ⊕ = Gas Filler Cap
- ⊕ = Gas Valve
- ⊕ = Gas Meter Box
- ⊕ = Gas Line Paint Stripe
- ⊕ = Grate Inlet
- ⊕ = GTE Manhole
- ⊕ = GTE Pedestal
- ⊕ = GTE Marker
- = Guy Wire
- ⊕ = Light Pole
- ⊕ = Mail Box
- ⊕ = Metal Post
- ⊕ = Monitoring Well
- ⊕ = Parking Meter
- ⊕ = Reclaimed Water Paint Stripe
- ⊕ = Reclaimed Water Box
- ⊕ = Reclaimed Water Valve
- ⊕ = Sanitary Sewer Manhole
- ⊕ = Sanitary Cleanout
- ⊕ = Sanitary Sewer Paint Stripe
- ⊕ = Siamese Connection
- ⊕ = Sign
- ⊕ = Sprinkler Control Box
- ⊕ = Sprinkler Head
- ⊕ = Storm Water Paint Stripe
- ⊕ = Storm Water Paint Stripe
- ⊕ = Traffic Signal Box
- ⊕ = Traffic Signal Pole
- ⊕ = Water Meter
- ⊕ = Water Valve
- ⊕ = Wood Utility Pole
- ⊕ = Wood Light Pole
- ⊕ = Wood Post
- ⊕ = Point of Elevation
- 25.2' = Calculated Dimension from Structure to Boundary / Right-of-Way Line

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DESIGNED BY: O.C./J.B.  
 DRAWN BY: J.S.  
 CHECKED BY: E.M.  
 DATE: 10/22/04

**FLORIDA DESIGN CONSULTANTS, INC.**  
 ENGINEERS, ENVIRONMENTALISTS, SURVEYORS & PLANNERS  
 3030 Starkey Blvd., New Port Richey, FL 34655  
 Tel. (727) 849-7566 - Fax. (727) 849-3648  
 E.B. No. 7421

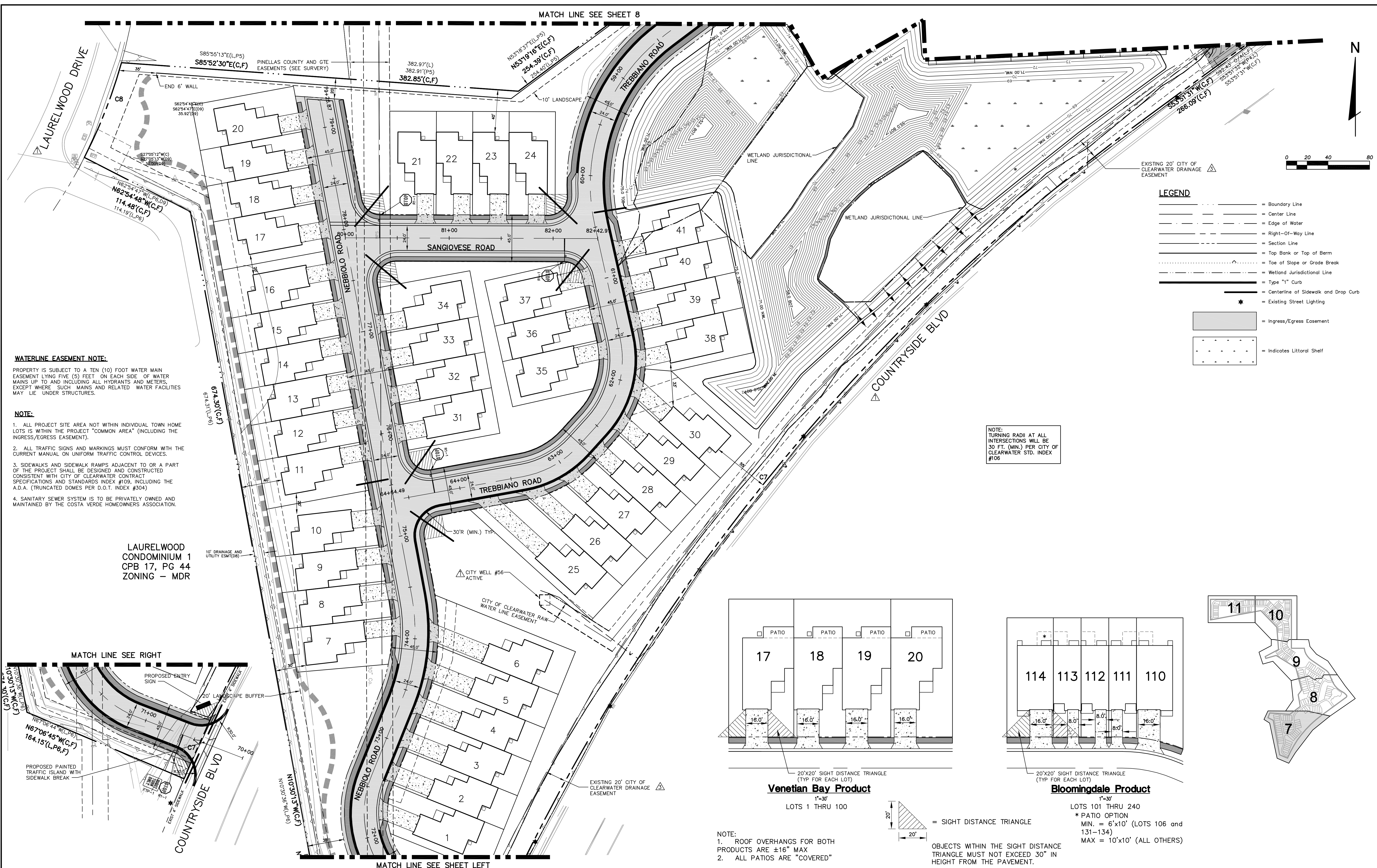
PREPARED FOR:  
**BEAZER HOMES TAMPA DIVISION**  
 2630 SOUTH FAULKENBURG ROAD, SUITE A  
 RIVERVIEW, FLORIDA 33569  
 PHONE: 813-663-9002 FAX: 813-663-9493

SHEET DESCRIPTION:  
**COSTA VERDE AT COUNTRYSIDE**  
**EXISTING CONDITIONS**

NO.	DATE	REVISIONS	APP'D BY	JOB NO. <b>282-02</b>	SHT. <b>6</b>
3	17/8/06	WELL WATER LINE LOCATION MODIFIED		DATE 10-22-04	OF <b>35</b>
2	8/16/05	REVISED PER CITY COMMENTS		F.A. & P.C. <b>169</b>	
1	8/5/05	STREET NAMES AND WELL STATUS ADDED.			

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MATCH LINE SEE SHEET 8



**WATERLINE EASEMENT NOTE:**

PROPERTY IS SUBJECT TO A TEN (10) FOOT WATER MAIN EASEMENT LYING FIVE (5) FEET ON EACH SIDE OF WATER MAINS UP TO AND INCLUDING ALL HYDRANTS AND METERS, EXCEPT WHERE SUCH MAINS AND RELATED WATER FACILITIES MAY LIE UNDER STRUCTURES.

**NOTE:**

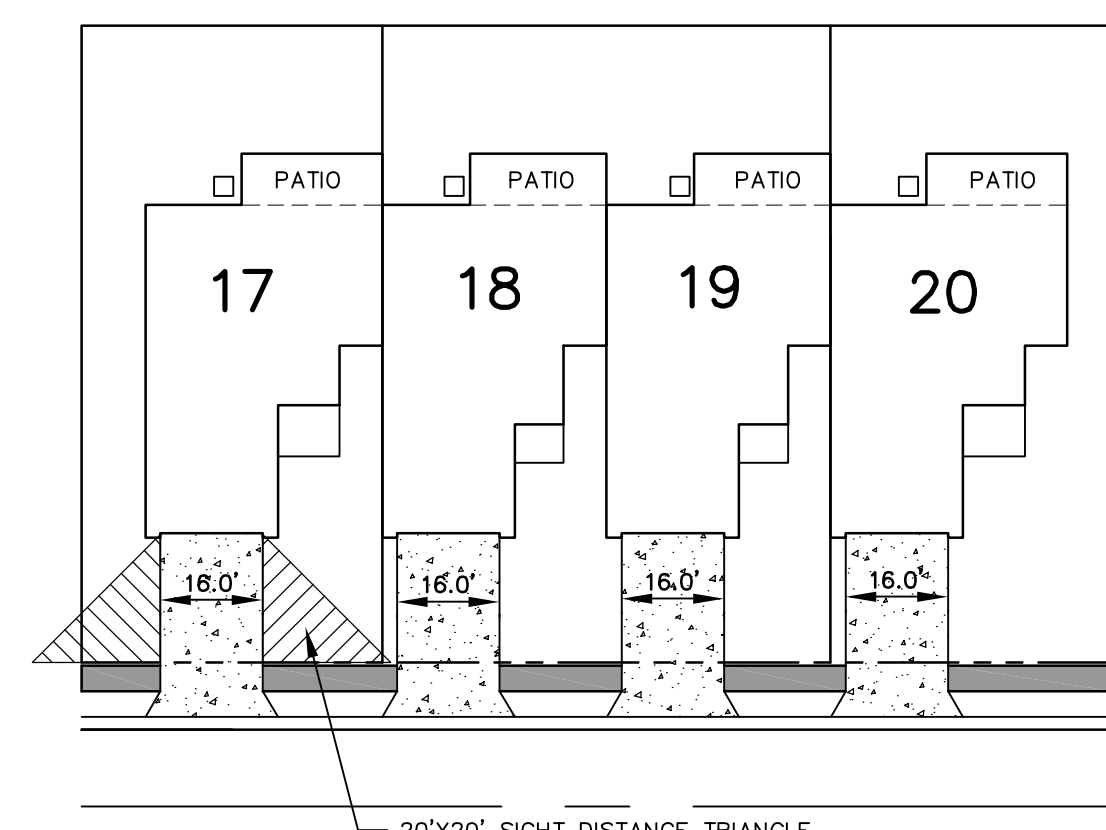
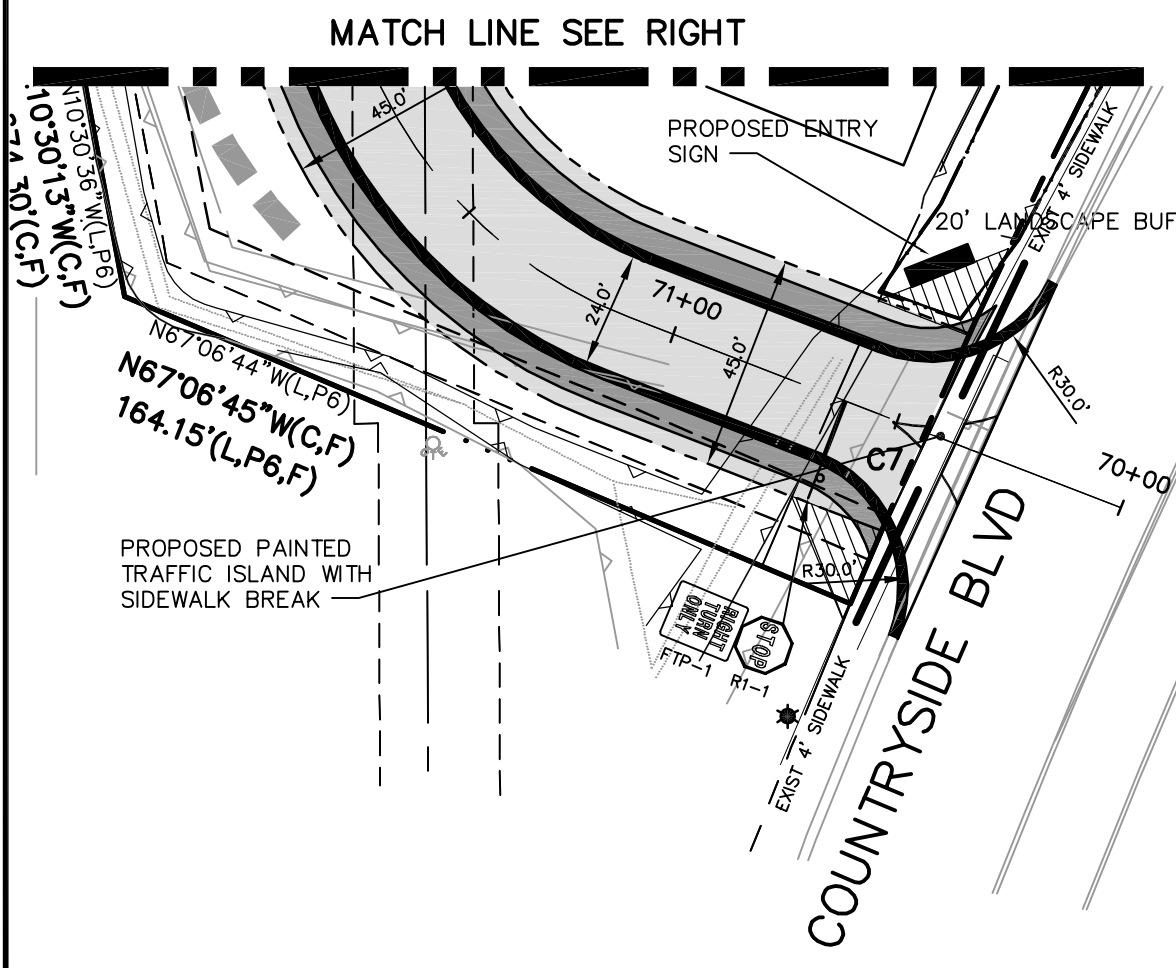
1. ALL PROJECT SITE AREA NOT WITHIN INDIVIDUAL TOWN HOME LOTS IS WITHIN THE PROJECT "COMMON AREA" (INCLUDING THE INGRESS/EGRESS EASEMENT).
2. ALL TRAFFIC SIGNS AND MARKINGS MUST CONFORM WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
3. SIDEWALKS AND SIDEWALK RAMPS ADJACENT TO OR A PART OF THE PROJECT SHALL BE DESIGNED AND CONSTRUCTED CONSISTENT WITH CITY OF CLEARWATER CONTRACT SPECIFICATIONS AND STANDARDS INDEX #109, INCLUDING THE A.D.A. (TRUNCATED DOMES PER D.O.T. INDEX #304)
4. SANITARY SEWER SYSTEM IS TO BE PRIVATELY OWNED AND MAINTAINED BY THE COSTA VERDE HOMEOWNERS ASSOCIATION.

LAURELWOOD CONDOMINIUM 1  
CPB 17, PG 44  
ZONING - MDR

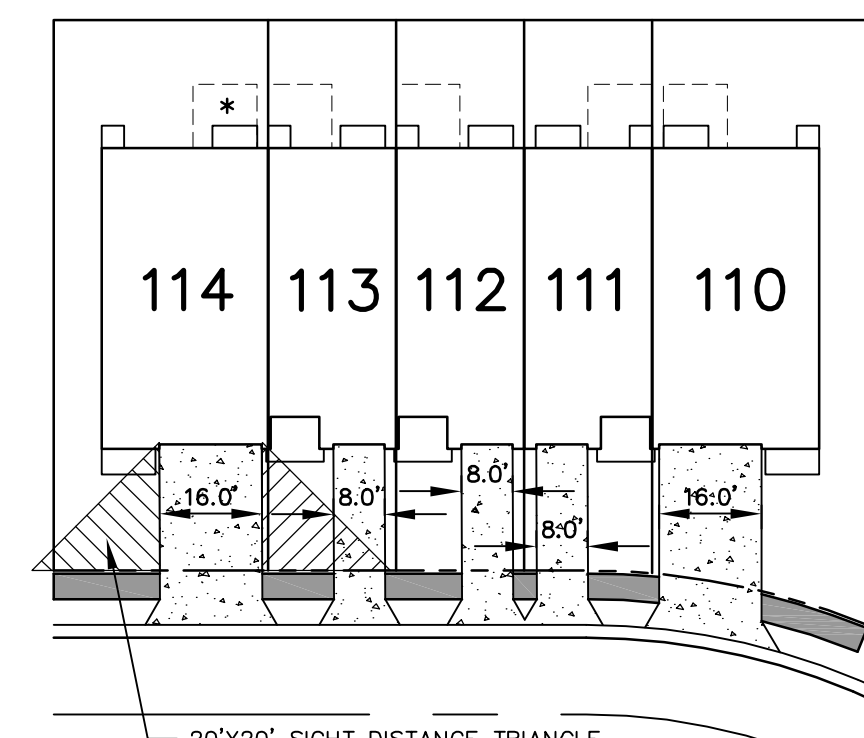
**LEGEND**

- = Boundary Line
- = Center Line
- = Edge of Water
- = Right-Of-Way Line
- = Section Line
- = Top Bank or Top of Berm
- = Toe of Slope or Grade Break
- = Wetland Jurisdictional Line
- = Type "1" Curb
- = Centerline of Sidewalk and Drop Curb
- ★ = Existing Street Lighting
- = Ingress/Egress Easement
- = Indicates Littoral Shelf

NOTE:  
TURNING RADII AT ALL INTERSECTIONS WILL BE 30 FT. (MIN.) PER CITY OF CLEARWATER STD. INDEX #106



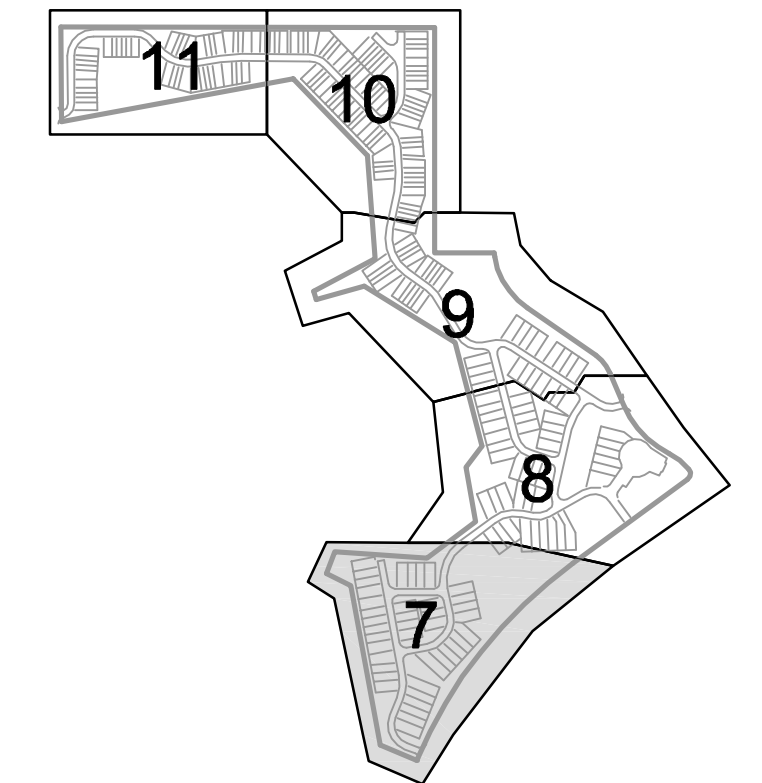
**Venetian Bay Product**  
1"=30'  
LOTS 1 THRU 100



**Bloomingdale Product**  
1"=30'  
LOTS 101 THRU 240

- NOTE:
1. ROOF OVERHANGS FOR BOTH PRODUCTS ARE ±16" MAX
  2. ALL PATIOS ARE "COVERED"

OBJECTS WITHIN THE SIGHT DISTANCE TRIANGLE MUST NOT EXCEED 30" IN HEIGHT FROM THE PAVEMENT.



DESIGNED O.C./J.B.	THE SIGNATURE OF THE QUALITY CONTROL OFFICER IN THIS SPACE INDICATES THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED AND THAT CONSTRUCTION IS AUTHORIZED TO COMMENCE.
DRAWN J.S.	
CHECKED E.M.	
C.C.	

**FLORIDA DESIGN CONSULTANTS, INC.**  
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Tel. (727) 949-7566 - Fax. (727) 949-3648  
E.B. No. 7421

PREPARED FOR:  
**BEAZER HOMES TAMPA DIVISION**  
2630 SOUTH FAULKENBURG ROAD, SUITE A  
RIVERVIEW, FLORIDA 33569  
PHONE: 813-663-9002 FAX: 813-663-9493

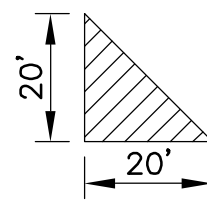
SHEET DESCRIPTION:  
**COSTA VERDE AT COUNTRYSIDE**  
SITE PLAN

NO.	DATE	REVISIONS	APPROVED BY	JOB NO. 282-02	DATE 10-22-04	SHT 7	OF 35
6	17/8/06	WELL WATER LINE LOCATION MODIFIED					
5	04/21/06	REVISED PER CITY COMMENTS					
4	11/22/05	REVISED "TYP" BLDG PRODUCTS					
3	10/4/05	20' DRAINAGE EASEMENT NOTE ADDED					
2	8/16/05	REVISED PER CITY COMMENTS					
1	8/9/05	EXIST STREET NAMES AND WELL STATUS ADDED.					

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**LEGEND**

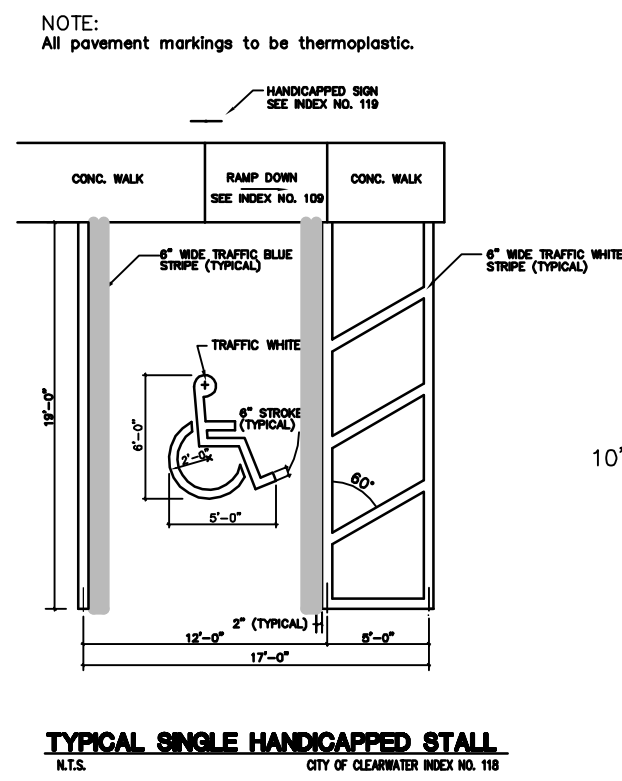
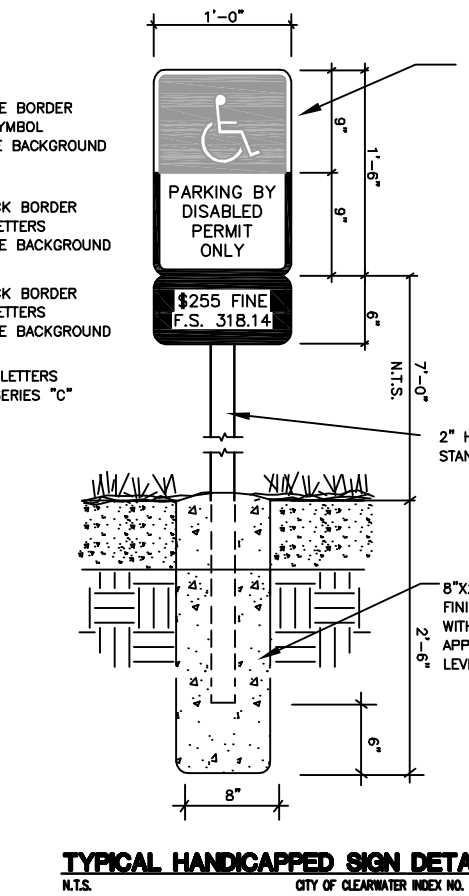
- = Boundary Line
- = Center Line
- = Edge of Water
- = Right-Of-Way Line
- = Section Line
- = Top Bank or Top of Berm
- = Toe of Slope or Grade Break
- = Wetland Jurisdictional Line
- = Type "1" Curb
- = Centerline of Sidewalk and Drop Curb
- = Existing Street Lighting
- = Ingress/Egress Easement
- = Indicates Littoral Shelf



= SIGHT DISTANCE TRIANGLE

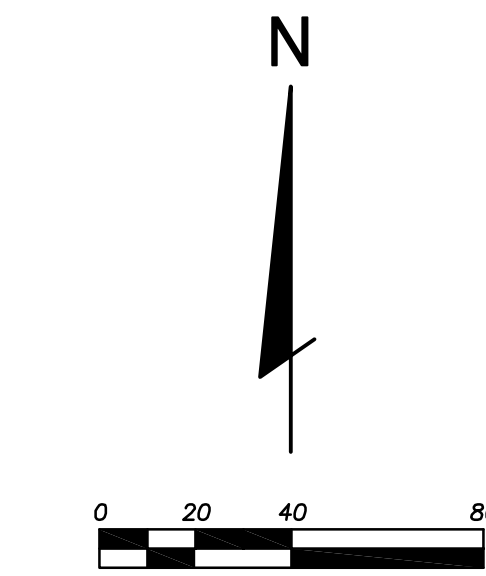
OBJECTS WITHIN THE SIGHT DISTANCE TRIANGLE MUST NOT EXCEED 30" IN HEIGHT FROM THE PAVEMENT.

NOTE:  
1. SIDEWALKS AND SIDEWALK RAMPS ADJACENT TO OR A PART OF THE PROJECT SHALL BE DESIGNED AND CONSTRUCTED CONSISTENT WITH CITY OF CLEARWATER CONTRACT SPECIFICATIONS AND STANDARDS INDEX #109, INCLUDING THE A.D.A. (TRUNCATED DOMES PER D.O.T. INDEX #304)  
2. SANITARY SEWER SYSTEM IS TO BE PRIVATELY OWNED AND MAINTAINED BY THE COSTA VERDE HOMEOWNERS ASSOCIATION.



VILLAGE ON THE GREEN  
CONDOMINIUM III  
CPB 37, PG 114  
ZONING - MDR

NETLAND MH



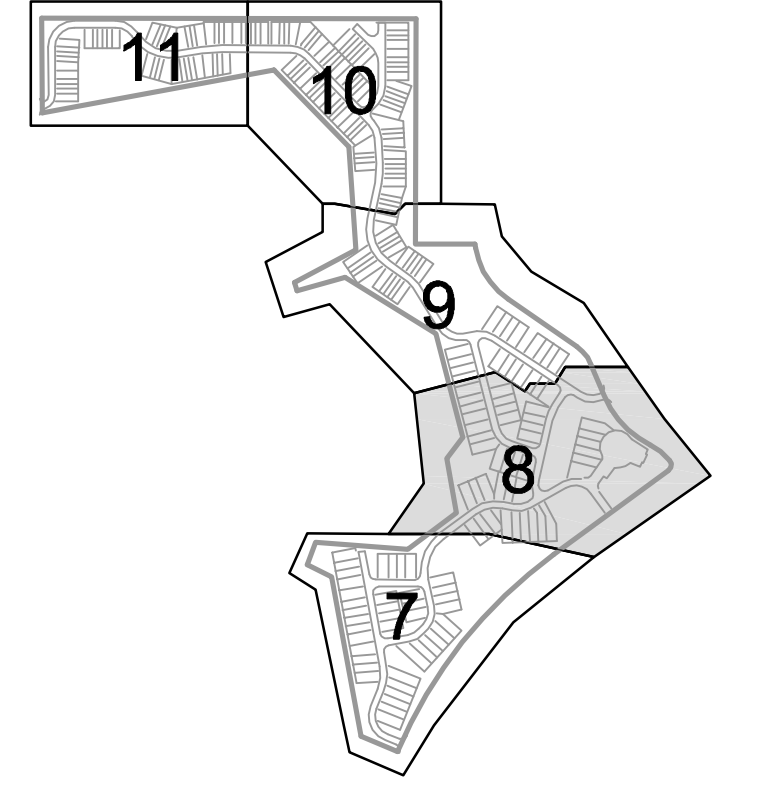
NOTE: SEE SHEET 23 FOR ENTERPRISE ROAD AND COUNTRYSIDE BLVD IMPROVEMENTS.

SANITARY MANHOLE  
RIM EL = 75.860'  
UNABLE TO ACCESS

CITY OF CLEARWATER RAW WATER LINE EASEMENT  
EXISTING DRIVE TO BE REMOVED (SEE SHEET 23)

NOTE: SHAPE AND CONFIGURATION OF CABANA AND POOL MAY CHANGE AT CONSTRUCTION PLAN PHASE.

NOTE: TURNING RADII AT ALL INTERSECTIONS WILL BE 30 FT. (MIN.) PER CITY OF CLEARWATER STD. INDEX #106

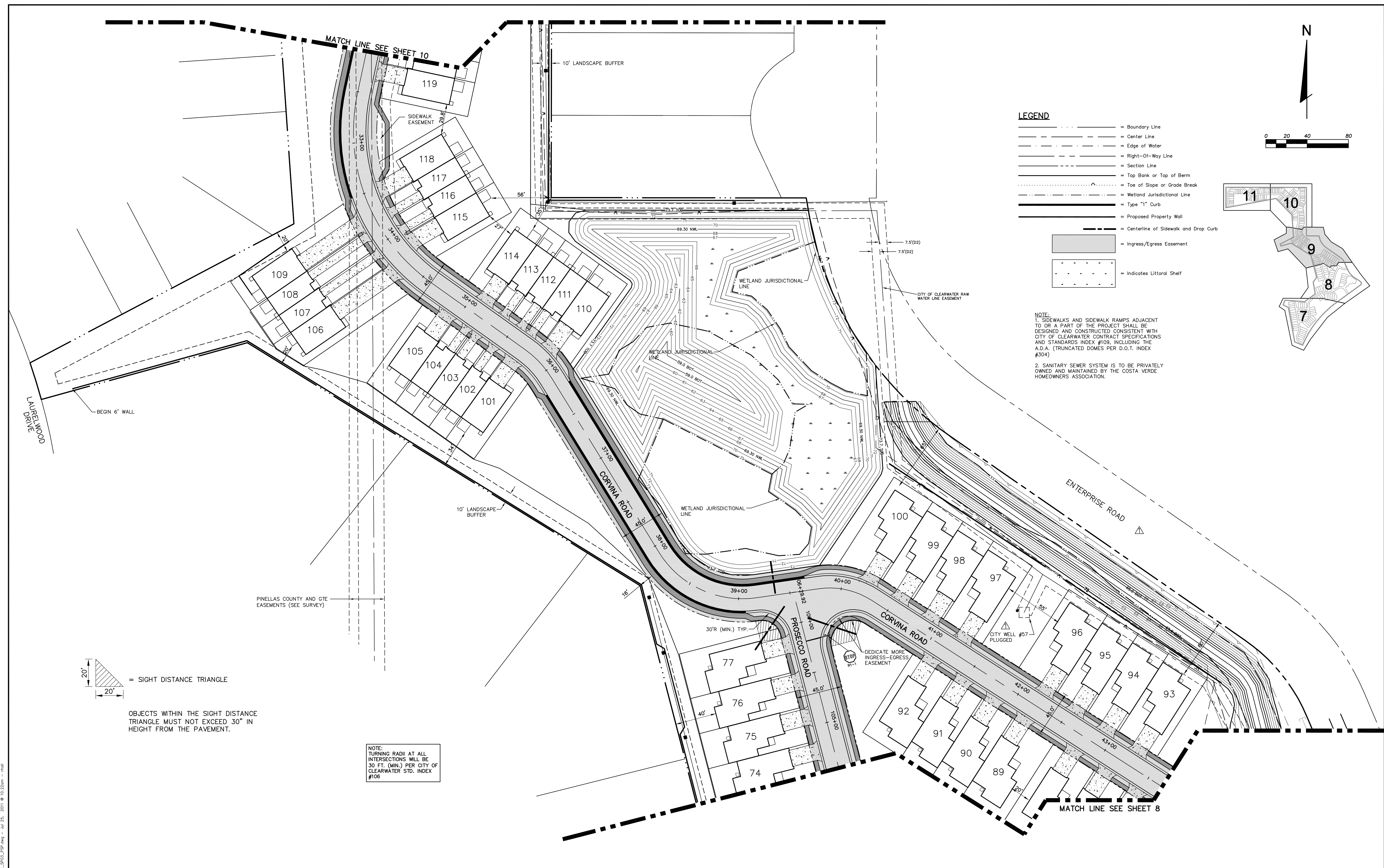


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DESIGNED <b>O.C./J.B.</b>	THE SIGNATURE OF THE QUALITY CONTROL OFFICER IN THIS SPACE INDICATES THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED AND THAT CONSTRUCTION IS AUTHORIZED TO COMMENCE.	<p><b>FLORIDA DESIGN CONSULTANTS, INC.</b> ENGINEERS, ENVIRONMENTALISTS, SURVEYORS &amp; PLANNERS 3030 Starkey Blvd., New Port Richey FL 34655 Tel. (727) 949-7566 - Fax. (727) 949-3648</p>	PREPARED FOR: <b>BEAZER HOMES TAMPA DIVISION</b> 2630 SOUTH FAULKENBURG ROAD, SUITE A RIVERVIEW, FLORIDA 33569 PHONE: 813-663-9002 FAX: 813-663-9493	SHEET DESCRIPTION: <b>COSTA VERDE AT COUNTRYSIDE</b> SITE PLAN	JOB NO. <b>282-02</b>
CHECKED <b>J.S.</b>			E.B. No. 7421		DATE <b>10-22-04</b>
DATE <b>06/28/06</b>	REVISIONS				35

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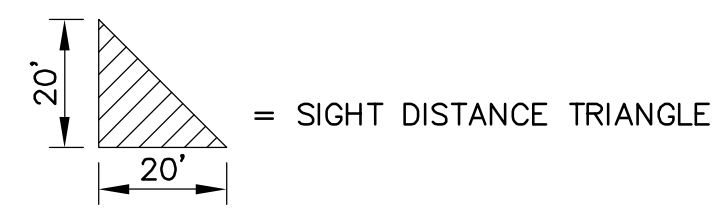




**LEGEND**

- Boundary Line
- Center Line
- Edge of Water
- Right-Of-Way Line
- Section Line
- Top Bank or Top of Berm
- Toe of Slope or Grade Break
- Wetland Jurisdictional Line
- Type "I" Curb
- Proposed Property Wall
- Centerline of Sidewalk and Drop Curb
- Ingress/Egress Easement
- Indicates Littoral Shelf

**NOTE:**  
 1. SIDEWALKS AND SIDEWALK RAMP ADJACENT TO OR A PART OF THE PROJECT SHALL BE DESIGNED AND CONSTRUCTED CONSISTENT WITH CITY OF CLEARWATER CONTRACT SPECIFICATIONS AND STANDARDS INDEX #109, INCLUDING THE A.D.A. (TRUNCATED DOMES PER D.O.T. INDEX #304).  
 2. SANITARY SEWER SYSTEM IS TO BE PRIVATELY OWNED AND MAINTAINED BY THE COSTA VERDE HOMEOWNERS ASSOCIATION.



OBJECTS WITHIN THE SIGHT DISTANCE TRIANGLE MUST NOT EXCEED 30" IN HEIGHT FROM THE PAVEMENT.

**NOTE:**  
 TURNING RADI AT ALL INTERSECTIONS WILL BE 30 FT. (MIN.) PER CITY OF CLEARWATER STD. INDEX #106

DESIGNED O.C./J.B.	THE SIGNATURE OF THE QUALITY CONTROL OFFICER IN THIS SPACE INDICATES THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED AND THAT CONSTRUCTION IS AUTHORIZED TO COMMENCE.
DRAWN J.S.	
CHECKED E.M.	
DATE 10/22-04	

**FD** **FLORIDA DESIGN CONSULTANTS, INC.**  
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 3030 Starkey Blvd., New Port Richey FL 34655  
 Tel. (727) 949-7966 - Fax. (727) 949-3648  
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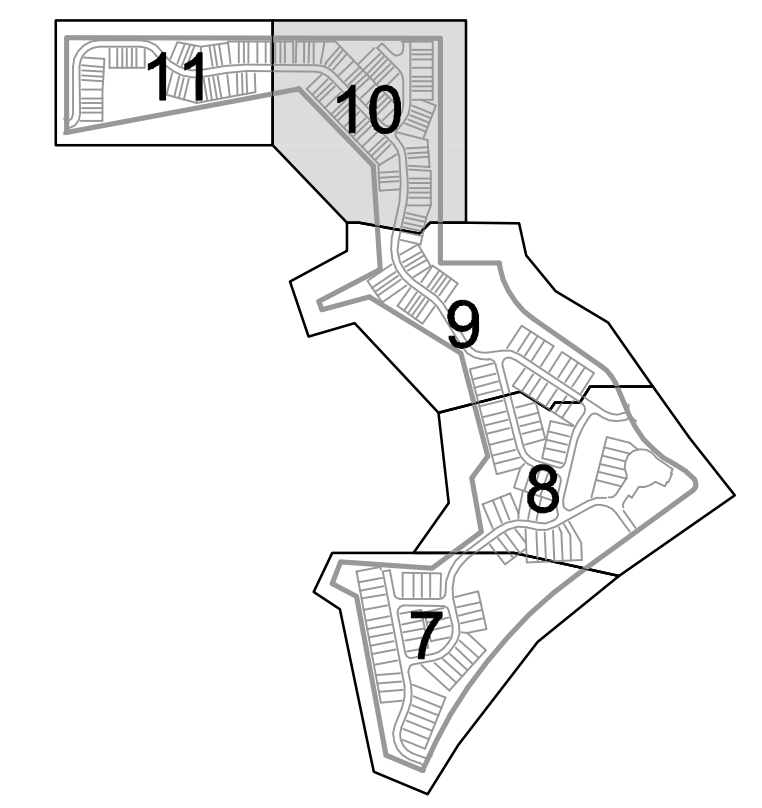
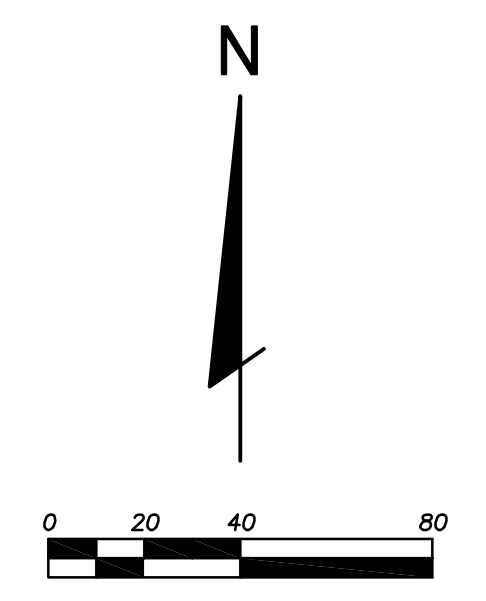
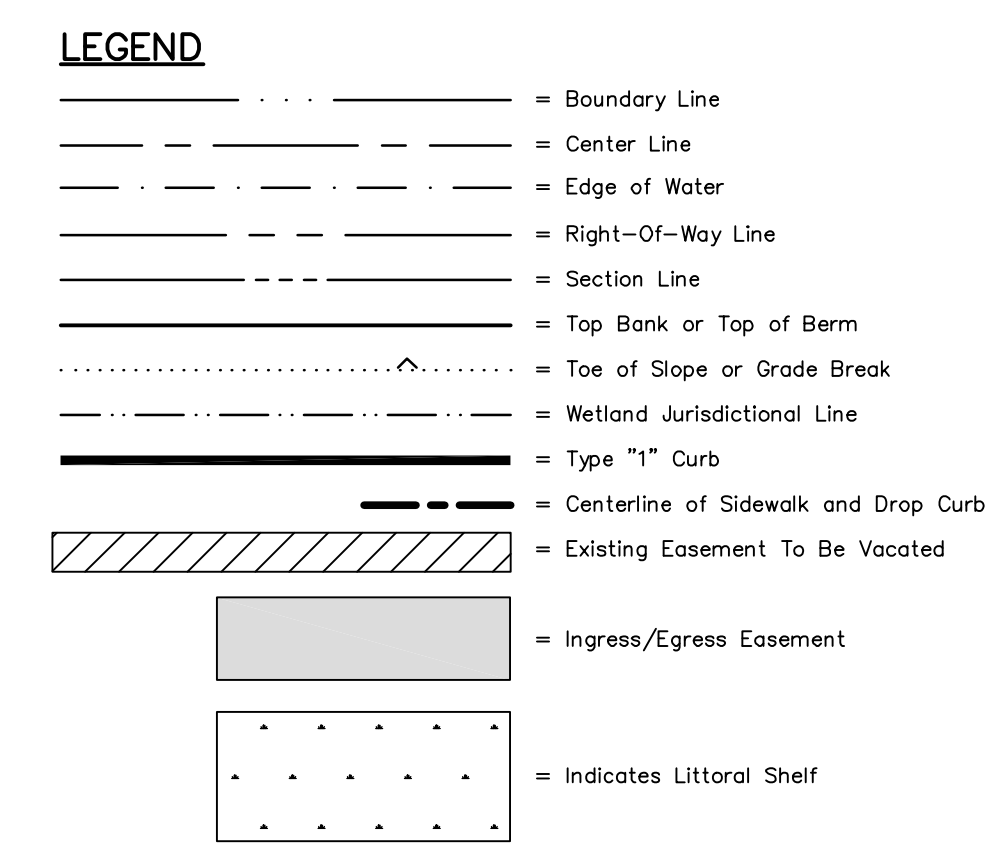
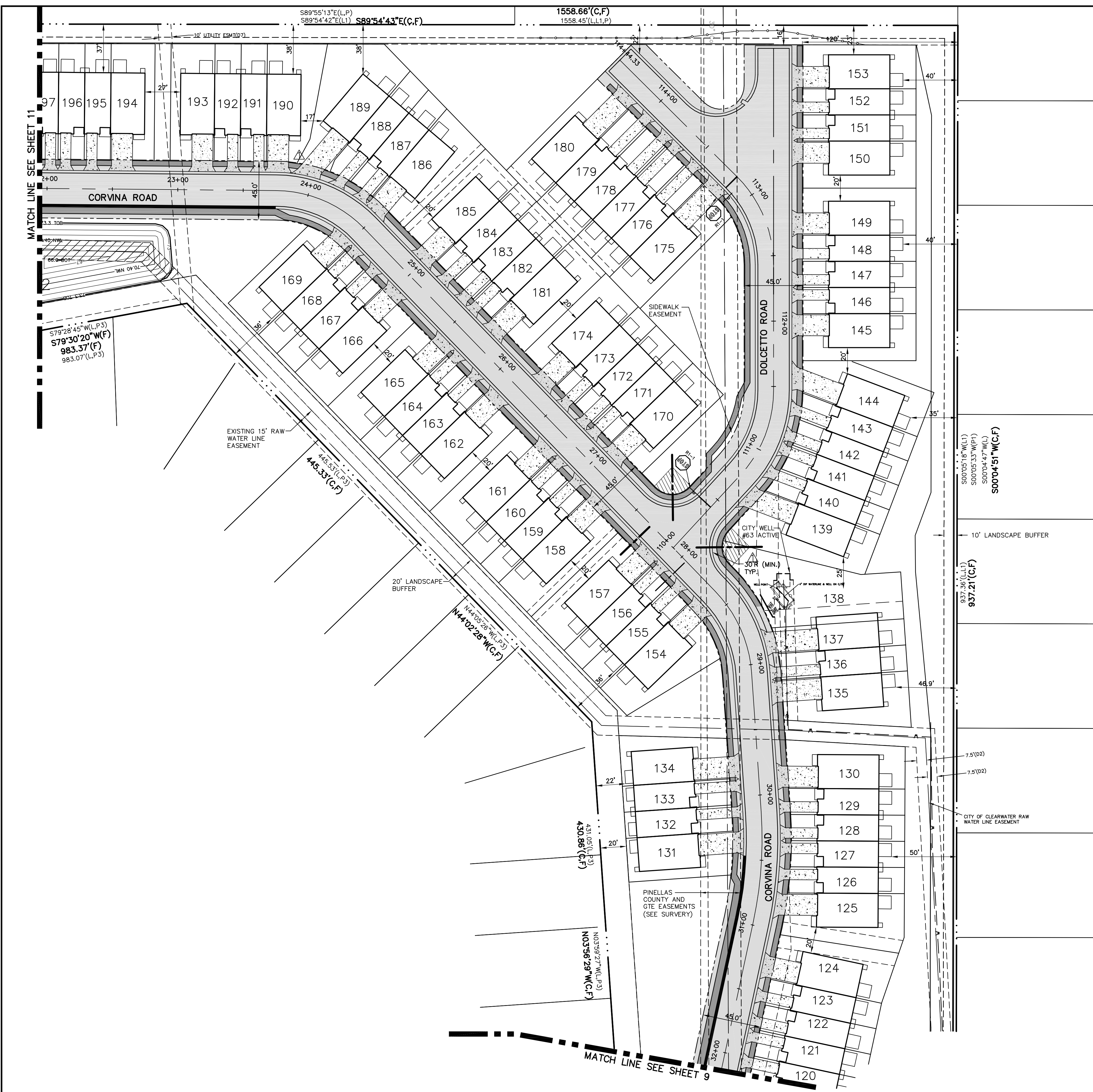
PREPARED FOR:  
**BEAZER HOMES TAMPA DIVISION**  
 2630 SOUTH FAULKENBURG ROAD, SUITE A  
 RIVERVIEW, FLORIDA 33569  
 PHONE: 813-663-9002 FAX: 813-663-9493

SHEET DESCRIPTION:  
**COSTA VERDE AT COUNTRYSIDE**  
**SITE PLAN**

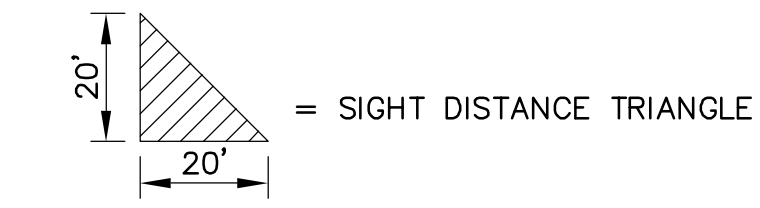
NO.	DATE	REVISIONS	JOB NO. 282-02	SHT <b>9</b>
5	17/8/06	WELL WATER LINE LOCATION MODIFIED	EPN 169	
4	06/28/06	REVISED PER CITY COMMENTS	F.B. & P.C.	
3	04/21/06	REVISED PER CITY COMMENTS		
2	8/16/05	REVISED PER CITY COMMENTS		
1	8/9/05	EXIST STREET NAMES AND WELL STATUS ADDED.	DATE 10-22-04	OF <b>35</b>

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**NOTE:**  
 1. SIDEWALKS AND SIDEWALK RAMP ADJACENT TO OR A PART OF THE PROJECT SHALL BE DESIGNED AND CONSTRUCTED CONSISTENT WITH CITY OF CLEARWATER CONTRACT SPECIFICATIONS AND STANDARDS INDEX #109, INCLUDING THE A.D.A. (TRUNCATED DOMES PER D.O.T. INDEX #304)  
 2. SANITARY SEWER SYSTEM IS TO BE PRIVATELY OWNED AND MAINTAINED BY THE COSTA VERDE HOMEOWNERS ASSOCIATION.



OBJECTS WITHIN THE SIGHT DISTANCE TRIANGLE MUST NOT EXCEED 30" IN HEIGHT FROM THE PAVEMENT.

**NOTE:**  
 TURNING RADII AT ALL INTERSECTIONS WILL BE 30 FT. (MIN.) PER CITY OF CLEARWATER STD. INDEX #106

DESIGNED BY: O.C./J.B.  
 DRAWN BY: J.S.  
 CHECKED BY: E.M.  
 DATE: 10-22-04

**FLORIDA DESIGN CONSULTANTS, INC.**  
 ENGINEERS, ENVIRONMENTALISTS, SURVEYORS & PLANNERS  
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 Tel. (727) 949-7566 - Fax. (727) 949-3648  
 E.B. No. 7421

PREPARED FOR:  
**BEAZER HOMES TAMPA DIVISION**  
 2630 SOUTH FAULKENBURG ROAD, SUITE A  
 RIVERVIEW, FLORIDA 33569  
 PHONE: 813-663-9002 FAX: 813-663-9493

SHEET DESCRIPTION:

NO.	DATE	REVISIONS
5	17/8/06	WELL WATER LINE LOCATION MODIFIED
4	06/28/06	REVISED PER CITY COMMENTS
3	04/21/06	REVISED PER CITY COMMENTS
2	8/16/05	REVISED PER CITY COMMENTS
1	8/9/05	WELL STATUS ADDED. LOT 189 DRIVEWAY AMENDED

JOB NO.	282-02
EPN	169
F.B. & P.C.	
DATE	10-22-04
APP'D BY	
SHT.	10
OF	35

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